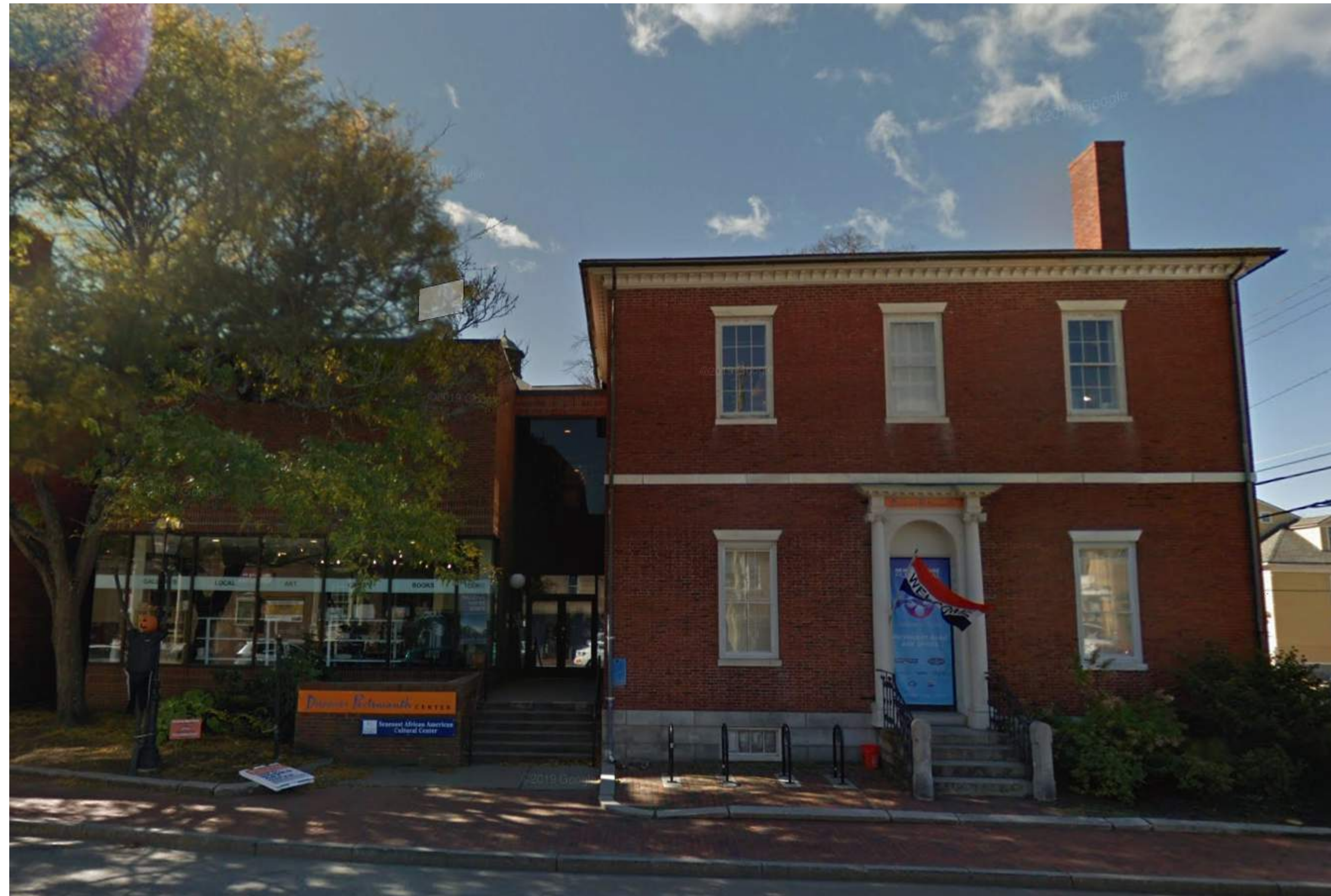
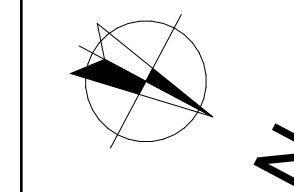
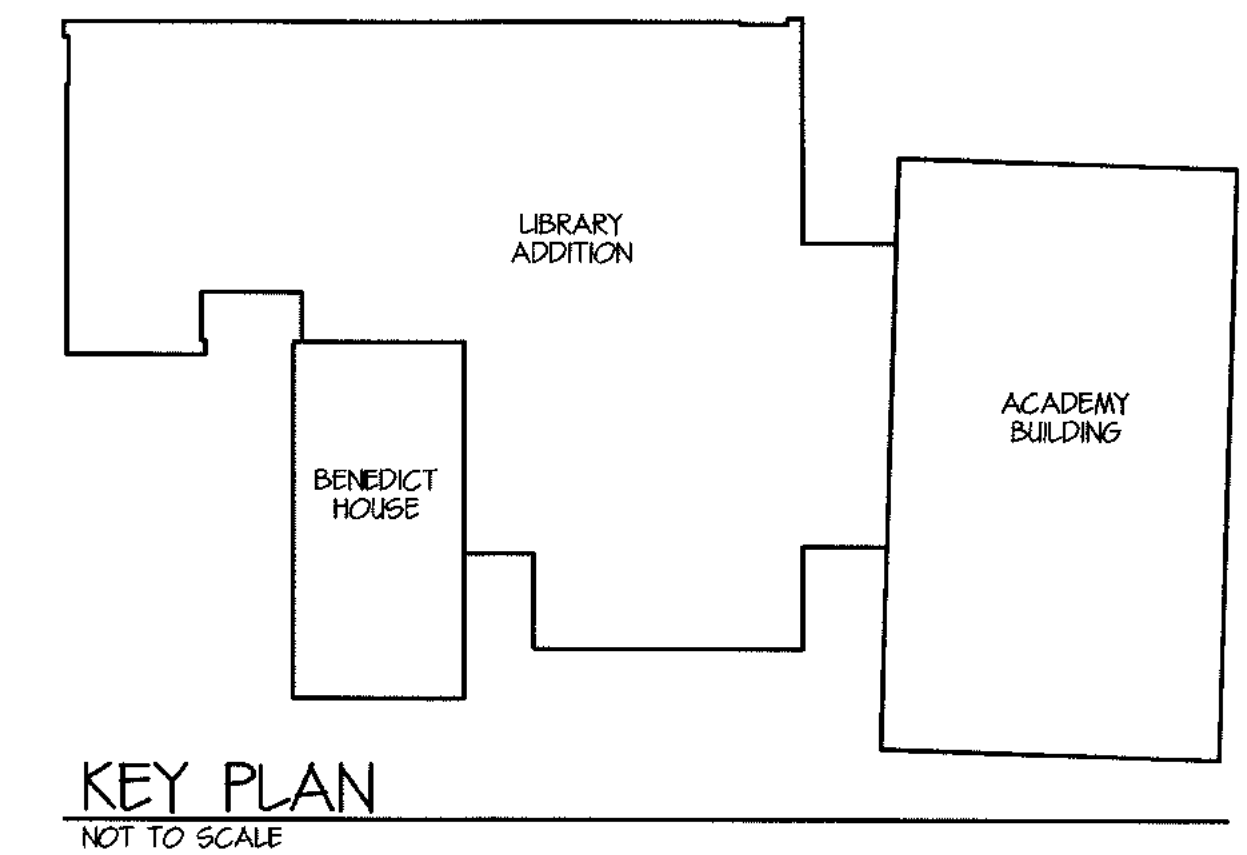


DISCOVER PORTSMOUTH CENTER

10 MIDDLE STREET ■ PORTSMOUTH ■ NEW HAMPSHIRE ■ RESTROOM AND ADA REMODEL



LOCUS MAP



DRAWING LIST

- ARCHITECTURAL**
- A001 GENERAL NOTES & CODE REVIEW
 - AX101 EXISTING FLOOR PLANS & DEMOLITION PLAN
 - AX102 EXISTING UPPER FLOOR PLANS
 - A101 PROPOSED RENOVATION
 - A102 STAFF ROOM PLANS
 - A103 RESTROOM PLANS
 - A104 REFLECTED CEILING PLAN
 - A301 WALL SECTIONS AND DETAILS
 - A601 FINISH PLANS AND SCHEDULES
- MECHANICAL & PLUMBING**
- MP101 TOILET AND STAFF ROOM HVAC PLANS
 - MP201 SPECIFICATIONS
- ELECTRICAL**
- E101 LEGEND AND NOTES
 - E102 ELECTRICAL SPECIFICATIONS, LIGHT FIXTURE SCHEDULE AND NOTES
 - ED101 FLOOR LIGHTING & POWER DEMOLITION PLANS
 - E201 FLOOR LIGHTING PLAN & POWER PLAN

PERMIT DOCUMENTS
12/2/19

I:\Volumes\ActiveProjects\Portsmouth Historical Society - Discover Portsmouth - 20190727\Architect\Discover Center Portsmouth 023 .jnh Friday, December 6, 2019

<p>ARCHITECT</p> <p>Dennis Mires, P.A., The Architects 697 Union St - Manchester, NH Tel: (603)625-4548 Fax: (603)625-1067 e-mail: info@thearchitects.net</p>		<p>CIVIL</p>		<p>STRUCTURAL</p>		<p>CONSTRUCTION MANAGER</p>		<p>DISCOVER PORTSMOUTH CENTER</p> <p>10 MIDDLE STREET PORTSMOUTH NH date: 11/22/19 proj. no.: 2019.072</p>		<p>DENNIS MIRES, P.A. THE ARCHITECTS 697 Union Street, Manchester NH 603-625-4548 FAX 603-625-1067</p>	
<p>PLUMBING</p> <p>Design Day Mechanicals, Inc. PO Box 447 New Ipswich, NH 03071 (603) 801-6000</p>		<p>MECHANICAL</p> <p>Design Day Mechanicals, Inc. PO Box 447 New Ipswich, NH 03071 (603) 801-6000</p>		<p>ELECTRICAL</p> <p>Electrical Systems Engineering 22 Manchester Road Suite B-A Derry, NH 03038 (603) 870-9009</p>		<p>The material contained in these drawings and the design they are intended to convey are the exclusive property of Dennis Mires, P.A., The Architects. Possession and use hereof is granted only confidentially in connection with construction and / or sale of the structure depicted herein as authorized by him, and the recipient agrees to abide by these restrictions. Any use, reproduction or disclosure of any information, in whole or in part, contained herein, without written permission of Dennis Mires P.A., The Architects, is expressly prohibited.</p>					

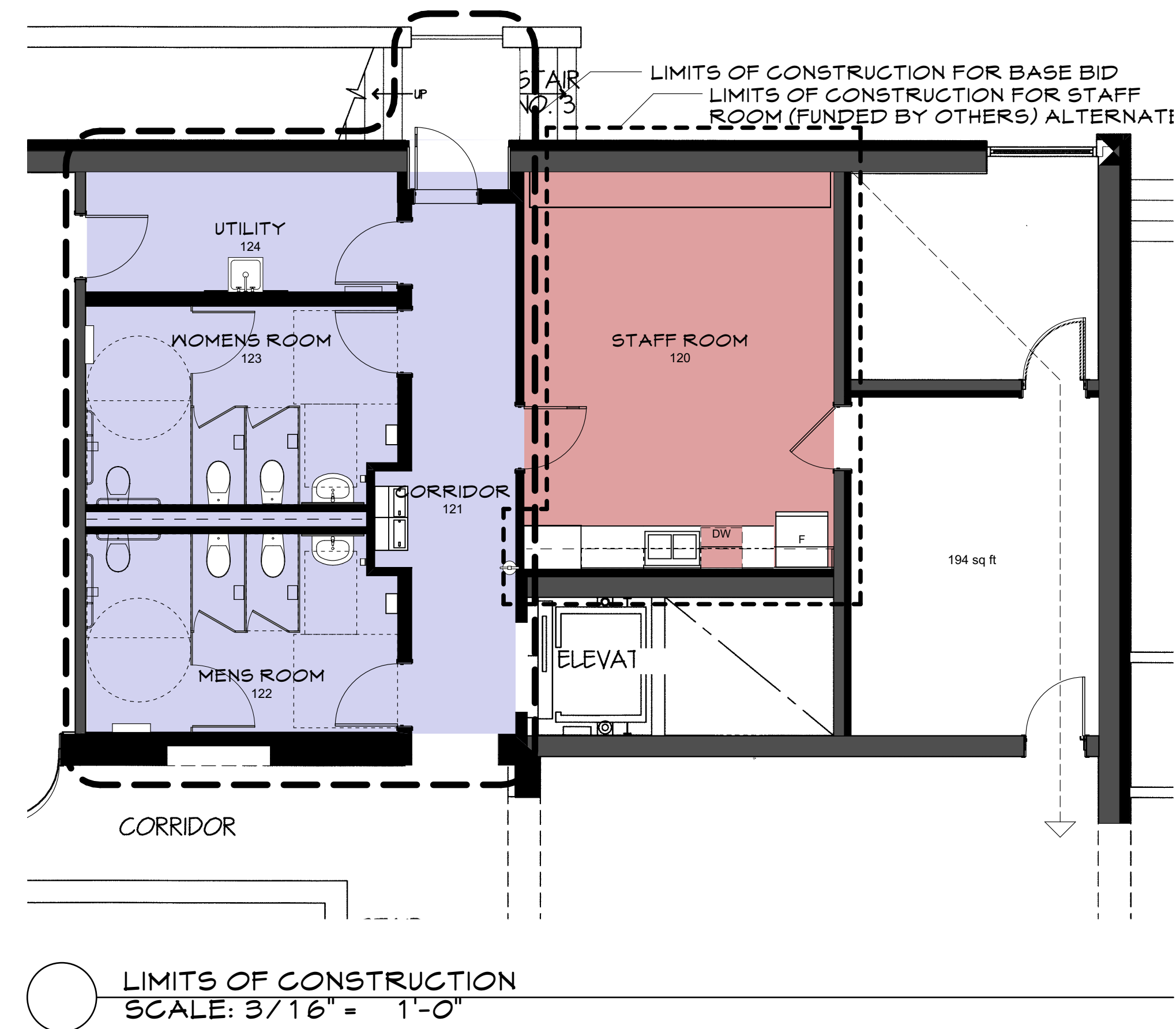
GENERAL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR, MATERIALS AND EQUIPMENT REQUIRED FOR AND REASONABLY INCIDENTAL TO THE CONSTRUCTION OF THE PROJECT.
2. THE CONTRACTOR SHALL REVIEW AND COORDINATE THE SCHEDULING OF ALL CONSTRUCTION PHASING WITH THE OWNER.
3. ALL WORK SHALL CONFORM TO ALL LOCAL BUILDING CODES AND ORDINANCES, AND ALL OTHER AGENCIES HAVING JURISDICTION. THE RULES AND REGULATIONS OF OSHA SHALL BE ADHERED TO FOR THIS PROJECT.
4. THE CONTRACTOR SHALL OBTAIN AND PAY ALL FEES FOR BUILDING DEPARTMENT APPROVALS AND PERMITS, CONTROLLED INSPECTIONS, OTHER AGENCY APPROVALS AND PERMITS WHERE REQUIRED, AND FINAL INSPECTION SIGN-OFFS FOR PROJECT COMPLETION. COPIES OF ALL INSPECTION REPORTS TO BE FORWARDED TO THE OWNER AND ARCHITECT. THE BUILDING IS OWNED BY THE CITY OF PORTSMOUTH. CITY OF PORTSMOUTH FEES WILL NOT BE REQUIRED OR WILL BE THE RESPONSIBILITY OF THE OWNER. ALL OTHER FEES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
5. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR THE COORDINATION OF ALL PORTIONS OF WORK.
6. THE CONTRACTOR SHALL DO ALL CUTTING, FITTING AND PATCHING THAT MAY BE REQUIRED TO MAKE THE VARIOUS PARTS OF THE WORK READY TO RECEIVE OR BE RECEIVED BY THE WORK OF OTHERS OR OUTSIDE VENDORS AS SHOWN UPON REASONABLY IMPLIED BY THE DRAWINGS.
7. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS, MAINTAIN AND PAY ALL COSTS FOR TEMPORARY WATER AND PLUMBING, POWER AND LIGHTING AND HEATING OR VENTILATION AS HE MAY REQUIRE TO PROPERLY CONDUCT THE WORK OF THE CONTRACT. ALL HOISTING CHARGES, IF ANY, SHALL BE INCLUDED IN HIS BID.
8. THE CONTRACTOR SHALL THOROUGHLY VERIFY ALL DIMENSIONS PRIOR TO THE BID SUBMISSION. TO THE EXTENT PRACTICABLE, HE SHALL ALSO VERIFY FIELD CONDITIONS AT THE SITE. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE OWNER PRIOR TO HIS BID SUBMISSION, OTHERWISE THE CONTRACTOR SHALL BEAR ALL COSTS TO COMPLETE THE WORK AS INTENDED ON THE CONTRACT DOCUMENTS.
9. NOT USED
10. THE CONTRACTOR SHALL PATCH TO MATCH OR AS OTHERWISE DIRECTED. ALL AREAS WHICH ARE AFFECTED BY THE DEMOLITION AND/OR NEW CONSTRUCTION.
11. THE CONTRACTOR SHALL BE RESPONSIBLE, AT HIS OWN COSTS, FOR WAREHOUSING OF ALL MATERIALS TO BE INSTALLED UNDER THIS CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECEIVING, PROTECTING OWNER FURNISHED ITEMS.
12. THE CONTRACTOR SHALL PROTECT THE BUILDING PREMISES AND ALL OCCUPANTS ON THE PROJECT SITE. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL NECESSARY COVERINGS, BOARDS, TEMPORARY PARTITIONS AND DOORS AS REQUIRED TO PROTECT THE EXISTING WORK AND FINISHES TO REMAIN AT THE JOB SITE AND ALL AREAS OF THE BUILDING AFFECTED BY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES CAUSED BY IMPROPER PROTECTION AND SHALL MAKE ALL NECESSARY REPLACEMENTS OR REPAIRS WITHOUT ANY ADDITIONAL CHARGE TO THE OWNER OR THE PARTY AFFECTED. THE CONTRACTOR SHALL TAKE CARE TO NOT OVERLOAD THE EXISTING FLOOR SLABS BEYOND THERE DESIGN CAPACITY WITH MATERIALS.
13. THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK WHICH HE EXPECTS ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER AND/OR ARCHITECT. FAILURE TO OBTAIN SUCH AUTHORIZATION SHALL JEOPARDIZE CLAIM FOR EXTRA COMPENSATION.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICABLE MANUFACTURER'S PRODUCTS GUARANTEES AND/OR WARRANTIES; AND SHALL SUBMIT COPIES OF EACH TO THE ARCHITECT PRIOR TO PURCHASE OF MATERIALS AND INSTALLATION.
15. THE CONTRACTOR SHALL MAINTAIN CONSTRUCTION PREMISES IN A NEAT AND ORDERLY CONDITION AND SHALL REMOVE TRASH AND DEBRIS AT THE END OF EACH WORKING DAY.

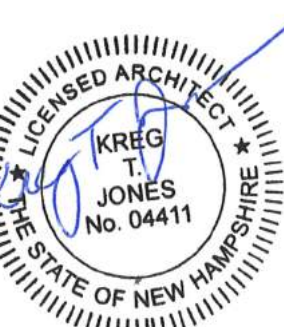
16. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT, IN WRITING, AND RECEIVE APPROVAL BEFORE ORDERING OR INSTALLING ITEMS OR MATERIALS WHICH ARE PROPOSED EQUALS. PROPOSED SUBSTITUTIONS SHALL BE SUBMITTED WITH BID PROPOSAL WITH ADD OR DEDUCT PRICING FROM THE ITEMS OR SYSTEM SPECIFIED IN THE CONTRACT DOCUMENTS.
17. JUST PRIOR TO THE OWNER'S OCCUPANCY, THE CONTRACTOR SHALL CLEAN ALL SURFACES OF DUST, DEBRIS, LOOSE CONSTRUCTION MATERIAL AND EQUIPMENT AND LEAVE ALL FLOORS VACUUMED CLEAN. REMAINING CONSTRUCTION MATERIAL AND EQUIPMENT, IF ANY, SHALL BE MOVED AND TEMPORARILY SECURED IN AN AREA DIRECTED BY THE OWNER.
18. WINDOWS AND PLUMBING FIXTURES WITHIN THE WORK AREA SHALL BE WASHED JUST PRIOR TO OWNER OCCUPANCY.
19. ALL NEW WORK AND CONSTRUCTION OPERATIONS SHALL NOT UNDERMINE THE STRUCTURAL INTEGRITY OF THE BUILDING.
20. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND/OR ARCHITECT FOR ITEMS FURNISHED AND/OR INSTALLED BY OTHERS FOR EXACT LOCATIONS AND PROPER FITTING; AND SCHEDULE THEM FOR WORK.
21. THE CONTRACTOR SHALL SECURE AND LOCK UP THE OWNER'S PREMISES AT THE END OF EACH WORKING DAY AND SHALL NOT PERMIT UNAUTHORIZED PERSONNEL TO CIRCULATE IN THE OWNER'S SPACE.
22. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SAFE AND UNINTERRUPTED CIRCULATION OF HVAC, ELECTRICAL, PLUMBING, AND FIRE PROTECTION SYSTEMS IN EXISTING AREAS NOT AFFECTED BY CONSTRUCTION.
23. THE CONTRACTOR SHALL PATCH ALL HOLES AND CHASES BOTH ABOVE AND BELOW THE CEILING CREATED BY THE WORK OF ALL TRADES, TO MAKE WATERTIGHT AND FIREPROOF. INSTALLATION, ALTERATION OR REMOVAL OF DUCTS, PIPES, CONDUITS, CEILINGS, ETC., TO MATCH EXISTING SURFACE.
24. THE CONTRACTOR SHALL PROVIDE APPROVED FIRE RATED MINERAL WOOL OR APPROVED EQUAL PACKED SOLID AT SPACE AROUND PIPES, DUCTS, AND CONDUITS PENETRATING FIRE RATED WALLS OR PARTITIONS AND SHALL COMPLY WITH ALL REGULATIONS AS SET BY APPLICABLE SECTIONS OF THE STATE BUILDING CODE AND OTHER CODES HAVING JURISDICTION.
25. FIRESTOPPING SHALL BE AS REQUIRED BY APPLICABLE SECTIONS OF THE STATE BUILDING CODE AND OTHER CODES HAVING JURISDICTION.
26. ALL INTERIOR FINISHES AND BACKING SHALL COMPLY WITH APPLICABLE SECTIONS OF THE STATE BUILDING CODE AND OTHER CODES HAVING JURISDICTION.
27. THE CONTRACTOR SHALL PATCH ALL HOLES AND DEFECTS IN THE FLOOR AND PROVIDE FLASH PATCHING OF ALL FLOORING. THE CONTRACTOR SHALL INSPECT THE FLOORS WITH THE FLOORING INSTALLER AND SHALL MAKE THE NECESSARY REPAIRS PRIOR TO THE ACCEPTANCE OF THE FLOOR SUBSTRATE BY THE FLOORING INSTALLER.
28. THE CONTRACTOR SHALL INSPECT AND MAKE THE NECESSARY CORRECTIVE MEASURES TO INSURE THAT ALL PARTITIONS SHALL ALIGN WITHOUT ANY BREAKS BETWEEN APPROVED BREAK POINTS.
29. THE CONTRACTOR SHALL PROVIDE AND ESTABLISH AN ELEVATION BENCHMARK AT 0'-0" TO BE USED AS A WORK POINT BY ALL TRADES FOR VERTICAL DIMENSIONS.
30. SUPERVISION BY THE CONTRACTOR: DURING THE ENTIRE PERIOD OF THE PROGRESS OF THE WORK, THE CONTRACTOR SHALL BE REPRESENTED AT THE SITE OF THE WORK BY A QUALIFIED SUPERINTENDENT WHO SHALL BE EMPOWERED TO ACT ON HIS BEHALF, AND WHO SHALL BE RESPONSIBLE FOR:
 1. ESTABLISHMENT AND MAINTENANCE OF PROPER AND SAFE WORKING CONDITIONS WITHIN THE STATE OF THE WORK.
 2. COMPLIANCE WITH ALL FEDERAL, STATE, AND LOCAL LAWS.
 3. LAYOUT AND COMPLETE COORDINATION OF ALL ELEMENTS OF THE WORK INCLUDING MECHANICAL AND ELECTRICAL COORDINATION.
 4. CHECKING OF ALL WORK IN PLACE FOR THE PURPOSE OF ASCERTAINING ITS COMPLIANCE WITH THE CONTRACT DOCUMENTS.
 5. REMOVAL AND PROPER REPLACEMENT OF ALL INSTALLED WORK WHICH IS NOT IN COMPLIANCE WITH CONTRACT DOCUMENTS.
 6. MAINTAINS A CLEAR AND CLEAN WORK SITE.

31. SUBMITTALS
 - A. CONTRACTOR SHALL SUBMIT SAMPLES AND SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW PRIOR TO FABRICATION AND INFORM THE ARCHITECT IN WRITING AT THE TIME OF SUBMISSION OF ANY PROPOSED DEVIATION IN SUBMITTALS FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. BY REVIEWING, APPROVING, AND SUBMITTING SHOP DRAWINGS AND SAMPLES PRIOR TO SUBMISSION TO THE ARCHITECT, THE CONTRACTOR REPRESENTS THAT HE HAS DETERMINED AND VERIFIED FIELD MEASUREMENTS, AND THAT EACH SUBMITTAL HAS BEEN CHECKED AND COORDINATED WITH THE REQUIREMENTS OF THE CONTRACT.
 - B. TIMING
 1. PRIOR TO COMMENCING THE WORK THE CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH A SUBMITTAL SCHEDULE FOR ALL ITEMS REQUIRED BY THE CONTRACT DOCUMENTS WHICH IS FULLY COORDINATED WITH THE CONSTRUCTION SCHEDULE TO INSURE A TIMELY REVIEW PROCESS.
 2. MAKE SUBMITTALS FAR ENOUGH IN ADVANCE OF SCHEDULE DATES FOR INSTALLATION TO PROVIDE TIME REQUIRED FOR REVIEWS, FOR SECURING NECESSARY APPROVALS, FOR POSSIBLE REVISIONS AND RESUBMITTALS, AND FOR PLACING ORDERS AND SECURING DELIVERY.
 - C. SAMPLES
 1. REJECTED SAMPLES SHALL BE RESUBMITTED AS SOON AS POSSIBLE AND SHALL BE IDENTIFIED AS "RESUBMITTED SAMPLES".
32. REMOVALS, CLEAN-UP, AND PROTECTION
 - A. REMOVE ALL WASTES, REFUSE, AND DEBRIS ACCUMULATING FROM CONSTRUCTION WORK AND LEGALLY DISPOSE OF INDEPENDENTLY FROM OTHERS IN THE BUILDING.
 - B. GENERAL CONTRACTOR SHALL ENSURE THAT CONSTRUCTION PREMISES ARE LEFT IN A GENERALLY CLEAN CONDITION AT THE END OF EACH WORKING DAY. ONCE HARDWOOD FLOORING HAS BEEN INSTALLED, ALL FLOORS WILL BE VACUUMED AND TEMPORARILY PROTECTED AGAINST DAMAGE DURING MOVE-IN. PROTECTION FOR WALLS, CORNERS, AND DOOR FRAMES WILL ALSO BE PROVIDED AS REQUIRED.
 - C. JUST PRIOR TO OWNER OCCUPANCY, CLEAN ALL SURFACES, REMOVE TEMPORARY LABELS, STAINS, AND FOREIGN SUBSTANCES, POLISH TRANSPARENT AND GLOSSY SURFACES, CLEAN EQUIPMENT AND FIXTURES TO A SANITARY CONDITION; REPLACE FILTERS OF MECHANICAL EQUIPMENT. REMAINING CONSTRUCTION MATERIAL AND EQUIPMENT, IF ANY, SHALL BE MOVED AND TEMPORARY SECURED IN AN AREA DIRECTED BY OWNER.
 - D. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AFTER-HOURS WORK AS REQUIRED BY THE OWNER. (I.E. EXCESSIVE NOISE, FUMES, ETC.)
 - E. CONTRACTOR IS RESPONSIBLE FOR COORDINATING AVAILABILITY OF PARKING FOR WORKERS WITH THE OWNER.
 - F. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND COORDINATING WORK OF SEPARATE CONTRACTS (I.E. ELECTRICAL, PLUMBING/HVAC CONTRACTORS., ETC).
33. WHERE EXISTING CONSTRUCTION IS FOUND TO CONTAIN ANY HAZARDOUS MATERIAL, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND THE ARCHITECT IN WRITING. NOTE: REMOVAL, DISPOSAL AND REPLACEMENT OF THE HAZARDOUS MATERIAL SHALL BE IN ACCORDANCE WITH STATE, LOCAL AND FEDERAL REGULATIONS.

CODE INFORMATION	
GENERAL BUILDING INFORMATION	
Floor Area: 1st Floor - "7,640" sf - 2nd Floor - "7,260" sf - 3rd Floor - "1,490" sf Area modified: 1,000sf on first level (no new square footage)	
Building Height: "42" feet	
2015 INTERNATIONAL BUILDING CODE: (IBC) Refer to the following sections to determine compliance with the requirements for construction documents in Sections 105.0, 106.0, 107.0, 108.0, 109.0, 1704.0, 1804.0. The building must comply with all Sections of the International Building Code.	
304 USE GROUP: Business	1003.2.3 CAPACITY OF EGRESS COMPONENTS: Egress Width 2" Corridor & .3" stairs per person (# of Occupants) x ("XX" inches) = "XXX" inch egress width 163 x .2 = 32.6" OR 48.9" for stairs
503 GENERAL HEIGHT & AREA LIMITATIONS: Height: 85 feet 7 stories Area: 34,200 feet	1005 NUMBER OF EGRESS EXITS: 7 Provided 2 Required
504 HEIGHT MODIFICATIONS: Add "x" story and "XX" feet -NOT REQUIRED EXISTING BUILDING	1607 FLOOR LIVE LOAD: Occupancy Floors @ 40 psf Corridors @ 80 psf Corridor 1st Floor @ 100 psf
506 AREA MODIFICATIONS: NA	1607.9 Reduction in Live Loads "XXX" psf
507 UNLIMITED AREAS: "L1" Space with exception" -N/A	1607 ROOF LIVE LOAD: 100 psf of horizontal projection
602 CONSTRUCTION CLASSIFICATION Type 1B	1608.0 SNOW LOADS: 1608.3 Flat-Roof & Low-Slope Snow Load: 35 psf 1608.3.1 Snow Exposure Factor: 1.0 1608.3.3 Snow Load Importance Factor: 1.1
TABLE 601 FIRE RESISTANCE RATINGS OF STRUCTURE ELEMENTS: Structural Elements: 2 hour, (modified per section) NO MODIFICATIONS Elevator Shaft(s): 2 hour, (modified per section) NO MODIF. Elevator Machine Room: 2 hour, (modified per section) NO MODIF. Corridor(s): 0 hour, (modified per section) NO MODIF. Mechanical Room(s): 0, (modified per section) NO MODIF. Egress Stairwells: 2, (modified per section) NO MODIF. Electrical Room(s): 0, (modified per section) NO MODIF. -ALL ITEMS NOTED ARE EXISTING	1609.3 BASIC WIND SPEED: "XX" mph 1609.1 Exposure Category: B 1604.5 Wind Load Importance Factor: 1.15 1609.7 Wind Design Pressure: 23
906 FIRE SPRINKLER SYSTEM: Type: None	
1008 OCCUPANT LOAD: Maximum Floor Area per Occupant 100 sf (# of Occupants) x ("X" sf) = "XXX sf floor area" 163 x 100 sf = 16,390 sf floor area	
All applicable building codes adopted and enforced by the City of Portsmouth can be seen on the City of Portsmouth website in the Inspection Department section.	



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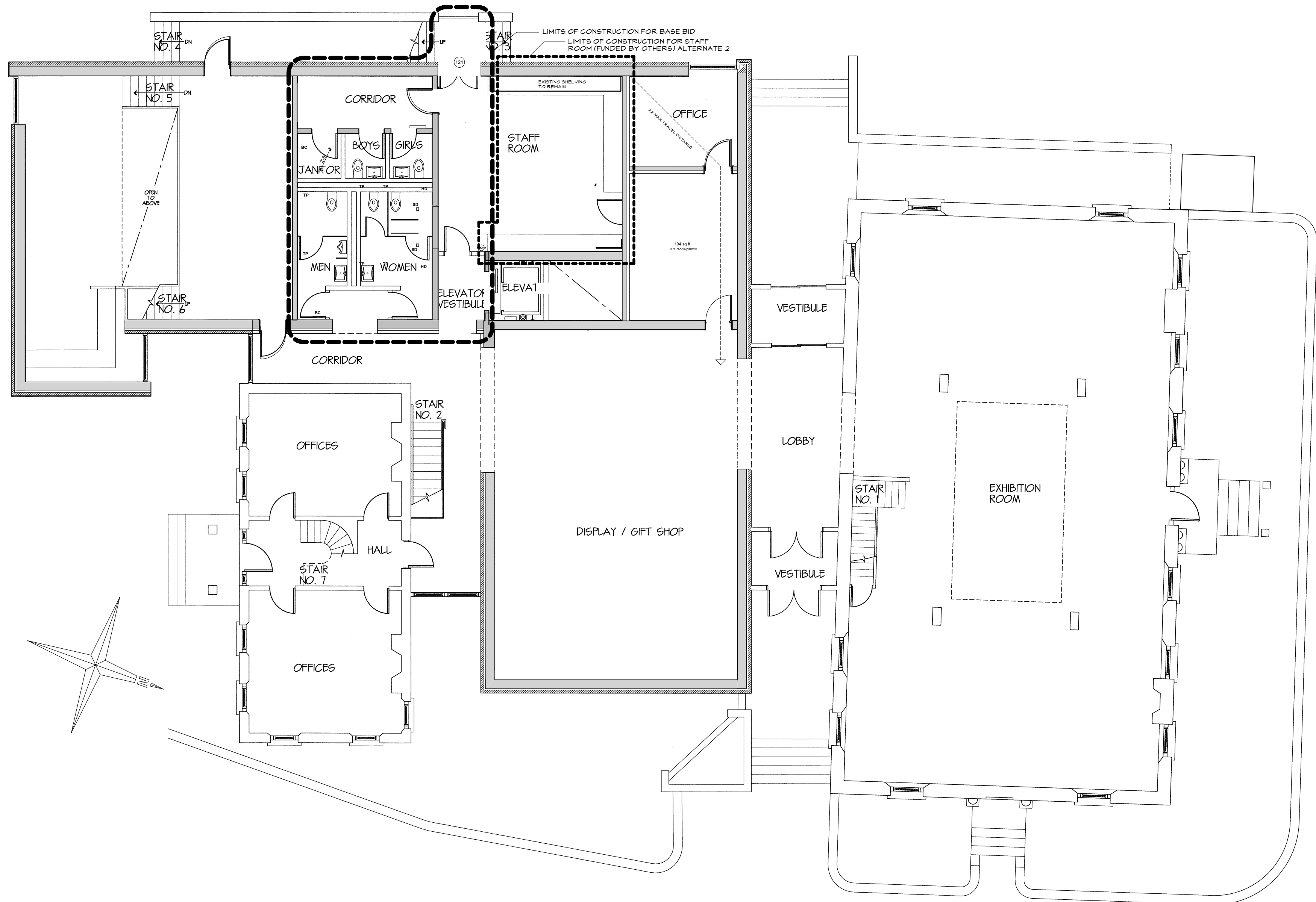
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General Notes
& Code Review

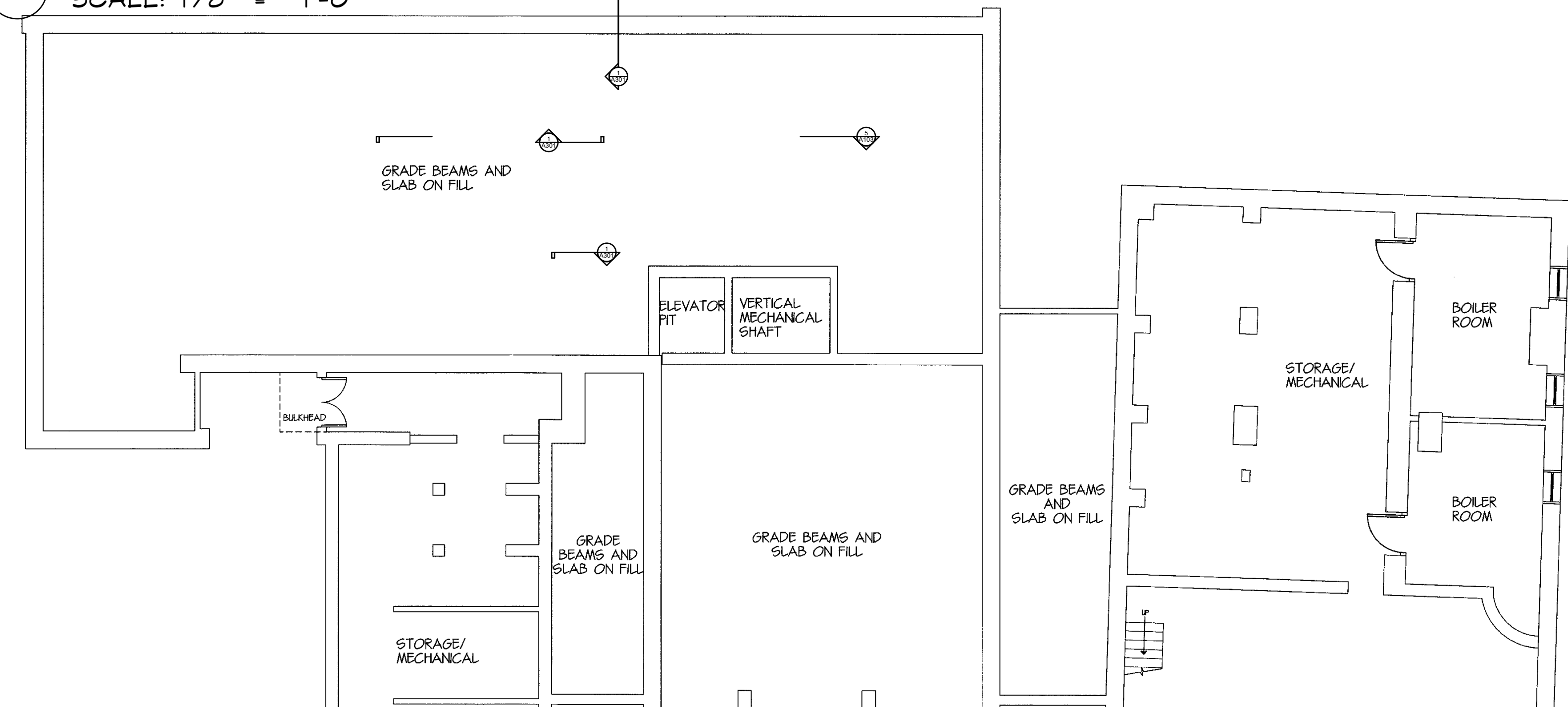
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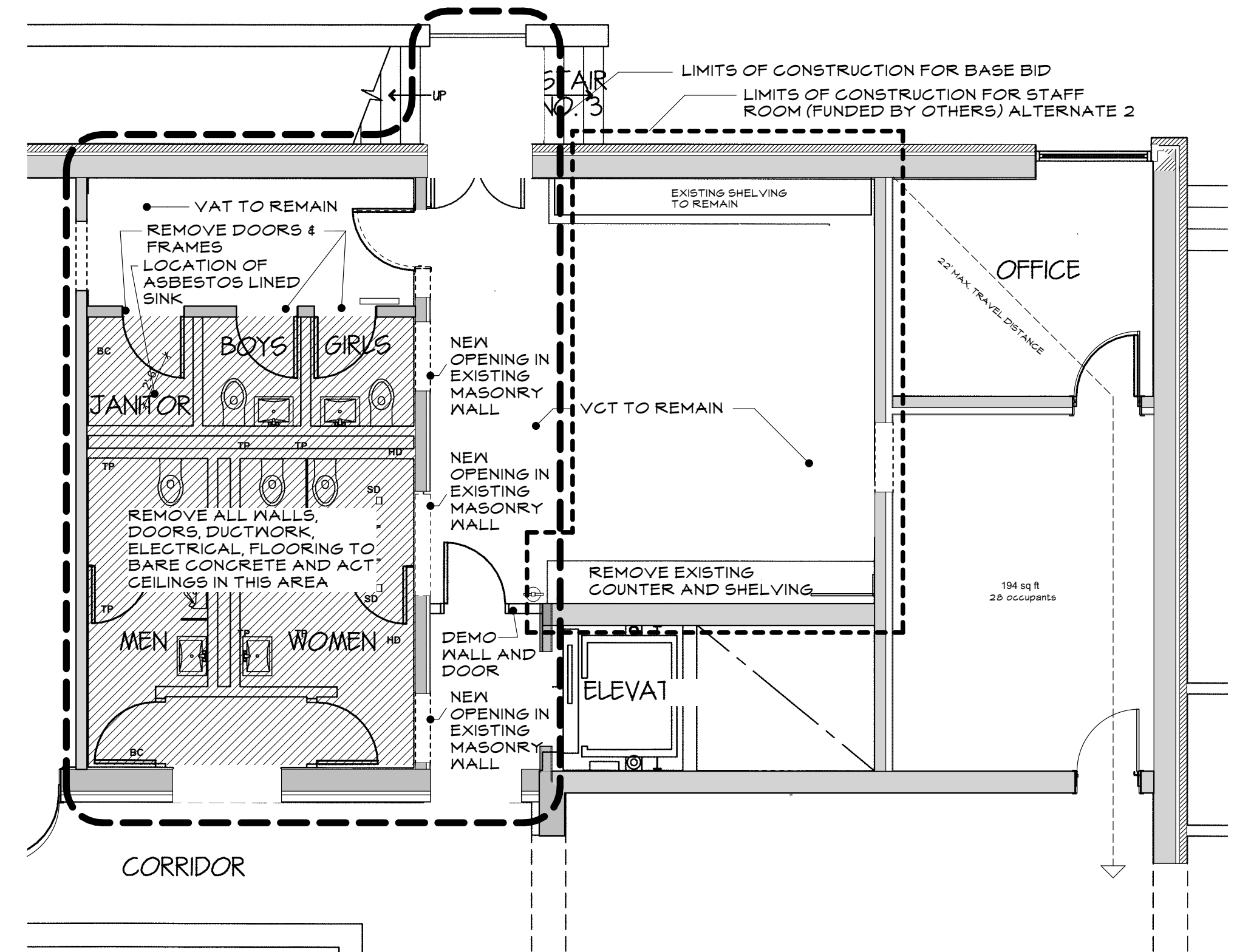
1 Existing First Floor
SCALE: 1/8" = 1'-0"



2 Existing Basement Foundation (Partial)
SCALE: 1/8" = 1'-0"

GENERAL DEMOLITION NOTES

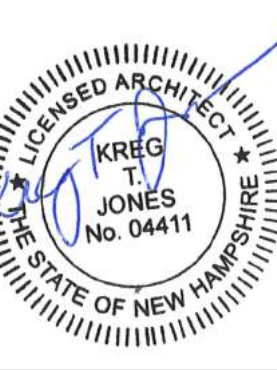
- A PROTECT ALL FINISHES ADJACENT TO AREAS OF DEMOLITION AND REPAIRS
- B EACH CONTRACTOR TO CAREFULLY EXAMINE EXISTING CONDITIONS AT THE TIME OF BID. ALL INCIDENTAL DEMOLITION IS NOT SHOWN.
- C REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR WORK IN THOSE TRADES. THE CONTRACTOR IS TO COORDINATE WITH DEMOLITION WORK OF THOSE TRADES.
- D DEMOLITION OF WALLS INCLUDES ALL ITEMS ATTACHED TO THE WALL, UNLESS NOTED TO BE SALVAGED (SALVAGE SECURITY EQUIPMENT AND PREP FOR REINSTALLATION IN NEW LOCATION). SAW CUT NEW OPENINGS AND REPAIR EXPOSED ENDS OF WALLS PER MASONRY RESTORATION.
- E SALVAGE EXISTING SOLID CORE DOORS, FRAMES TO REMAIN, UNLESS NOTED OTHERWISE.
- F PROTECT EXISTING DOORS SCHEDULED TO REMAIN.
- G REMOVE ALL HEATERS AND PIPING NOT TO BE USED IN NEW MECHANICAL SYSTEM. PREPARE WALLS FOR PATCHING AND PENETRATIONS TO BE FILLED.
- H ABATE ASBESTOS FROM SINK COVERING AND LEAD PAINT THROUGHOUT. NOTE ANY PRESENCE OF ASBESTOS MATERIAL FOUND DURING DEMOLITION. ALL VCT FLOOR TILE AND MASTIC NOT TO BE REMOVED.
- I REMOVE DOORS SCHEDULED TO BE REMOVED AND PREPARE OPENINGS FOR NEW DOORS.
- J SALVAGE ALL ELECTRICAL UNLESS NOTED OTHERWISE ON ELECTRICAL PLANS
- K REMOVE ALL CEILINGS IN AREAS OF HEAVY CONSTRUCTION. REFER TO SCHEDULE FOR OTHER LOCATIONS. SALVAGE 30 TILES FOR USE IN OTHER LOCATIONS.
- L REMOVE ALL CERAMIC TILE FLOORING DOWN TO CONCRETE OR BARE FLOORING TO PREPARE FOR AREAS OF NEW CERAMIC TILE FLOORING. VCT FLOOR TO REMAIN. REFER TO SCHEDULE FOR ALL LOCATIONS.
- M HAZARDOUS MATERIALS HAVE BEEN IDENTIFIED IN THE AREA OF WORK. ONE KITCHEN SINK WITH AN ASBESTOS LINER WILL BE REMOVED. ALL OTHER HAZARDOUS MATERIALS SHALL BE ENCAPSULATED IN NEW CONSTRUCTION (I.E. FLOOR TILES). IF CUTTING OR PATCHING OF AREAS CONTAINING HAZARDOUS MATERIALS IS ENCOUNTERED, CONTACT THE OWNER AND ARCHITECT FOR DIRECTION.



Demolition Plan
SCALE: 3/16" = 1'-0"

Volume: Active Projects / Portsmouth Historical Society - Discover Portsmouth - 2018/07/27/Architect/Discover Center Portsmouth v23.plt Friday, December 6, 2019

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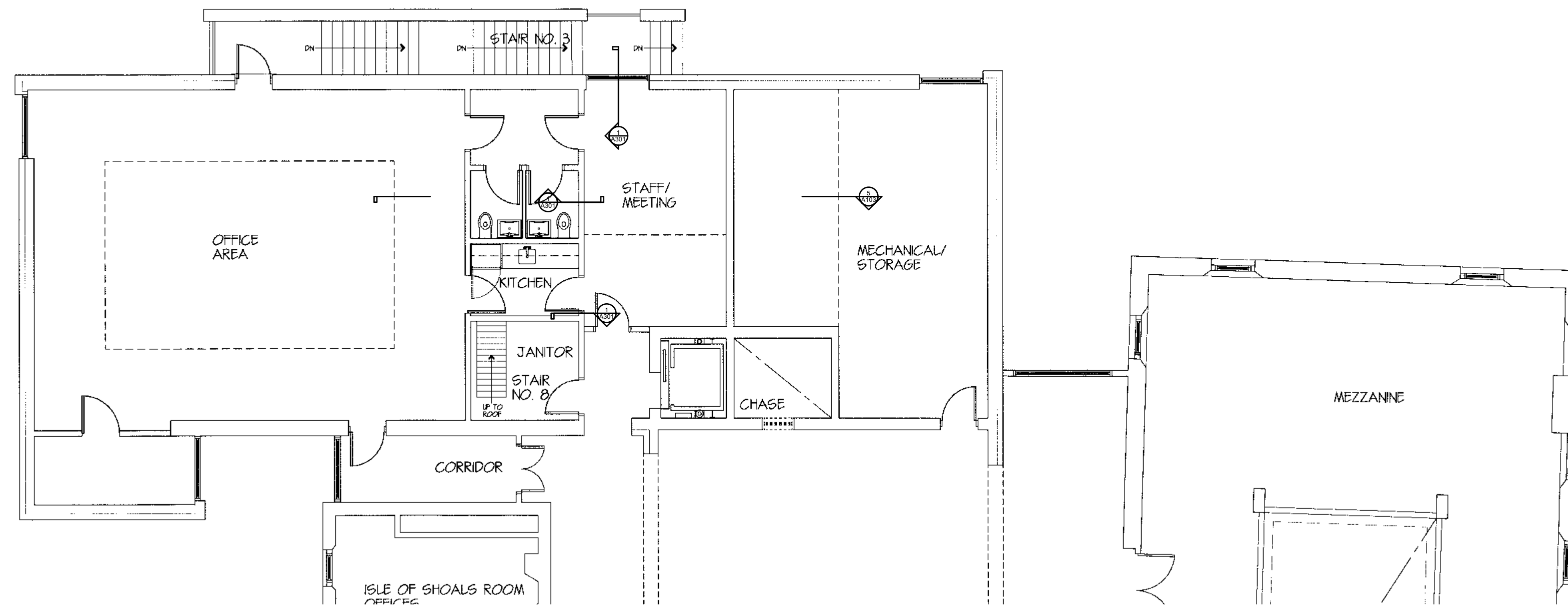
EXISTING FLOOR PLANS & DEMOLITION PLAN

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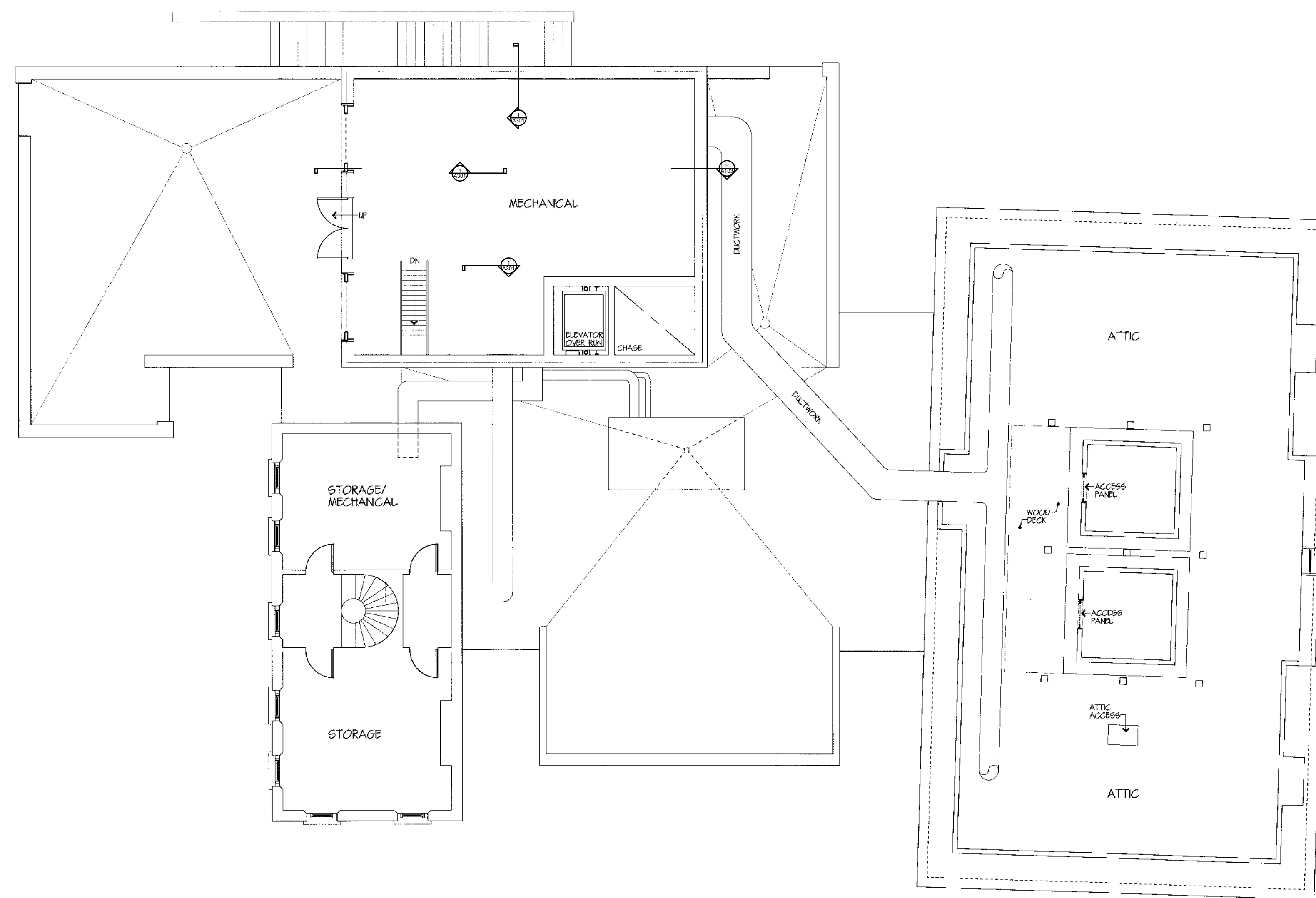
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proj. no.: 2014.072

AX101

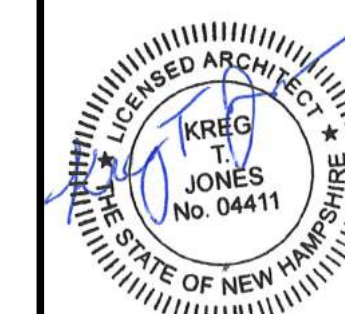


1 Existing Second Floor (Partial)
SCALE: 1/8" = 1'-0"



2 Existing Third Floor and Roof Plan
SCALE: 1/8" = 1'-0"

DISCOVER PORTSMOUTH CENTER
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EXISTING
UPPER FLOOR
PLANS

revisions:

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12-2-19
date:

proj. no.: 2014.072

AX102

/Volumes/ActiveProjects/Portsmouth Historical Society - 20180727/Architect/Discover Center Portsmouth v23 - p01 Friday, December 6, 2019

INTERIOR PARTITION TYPES :
 SEE FINISH SCHEDULE FOR INTERIOR WALL FINISHES
 SEE WALL SECTIONS AND DETAILS FOR EXTERIOR WALLS
 AND FLOOR-CEILING CONDITIONS
 INTERIOR PARTITION IS TYPE N-4 UNLESS NOTED OTHERWISE

STANDARD DOUBLE SIDED PARTITIONS:

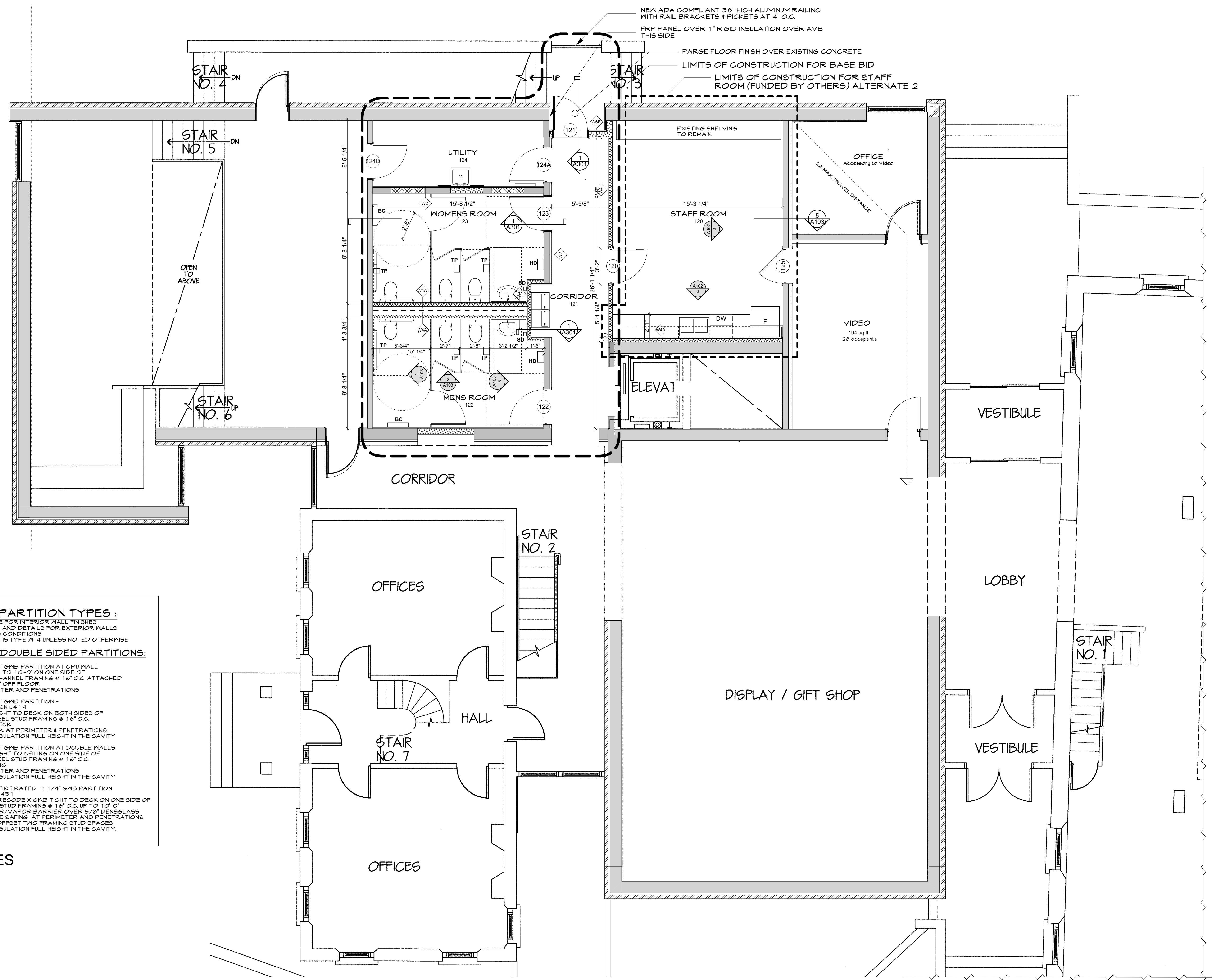
N-2: 2 1/2" GNB PARTITION AT CMU WALL
 5/8" TYPE X GNB UP TO 10'-0" ON ONE SIDE OF
 1 7/8" STEEL HAT CHANNEL FRAMING @ 16" O.C. ATTACHED
 TO CMU UP TO 10'-0" OFF FLOOR
 SEALANT AT PERIMETER AND PENETRATIONS

N-4: 1 HR 4 7/8" GNB PARTITION -
 STC 43-45 UL DESIGN U4 19
 5/8" TYPE X GNB TIGHT TO DECK ON BOTH SIDES OF
 3 5/8" 20 GAUGE STEEL STUD FRAMING @ 16" O.C.
 UP TO CONCRETE DECK
 UL CLASSIFIED CAULK AT PERIMETER & PENETRATIONS.
 3" MINERAL FIBER INSULATION FULL HEIGHT IN THE CAVITY

N-4A: 4 1/4" GNB PARTITION AT DOUBLE WALLS
 5/8" TYPE X GNB TIGHT TO CEILING ON ONE SIDE OF
 3 5/8" 20 GAUGE STEEL STUD FRAMING @ 16" O.C.
 UP TO FLOOR/CEILING
 SEALANT AT PERIMETER AND PENETRATIONS
 3" MINERAL FIBER INSULATION FULL HEIGHT IN THE CAVITY

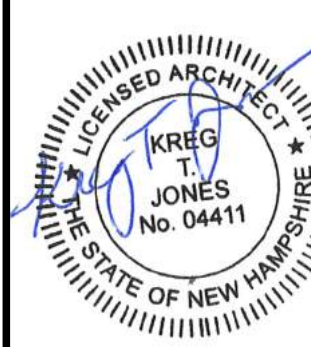
N-6E: 1 HR FIRE RATED 7 1/4" GNB PARTITION
 STC 56; UL DESIGN U4 S1
 1 LAYER OF 5/8" FIRECODE X GNB TIGHT TO DECK ON ONE SIDE OF
 6" 16 GAUGE STEEL STUD FRAMING @ 16" O.C. UP TO 10'-0"
 FRP SIDING OVER AIR/VAPOR BARRIER OVER 5/8" PINGSLASS
 FIRE CAULK AND FIRE SAFING AT PERIMETER AND PENETRATIONS
 RECESSED BOXES OFFSET TWO FRAMING STUD SPACES
 6" MINERAL FIBER INSULATION FULL HEIGHT IN THE CAVITY.

WALL TYPES



FIRST FLOOR
SCALE: 1/4" = 1'-0"

DISCOVER PORTSMOUTH CENTER
RESTROOM AND ADA REMODEL
10 MIDDLE STREET
PORTSMOUTH NEW HAMPSHIRE



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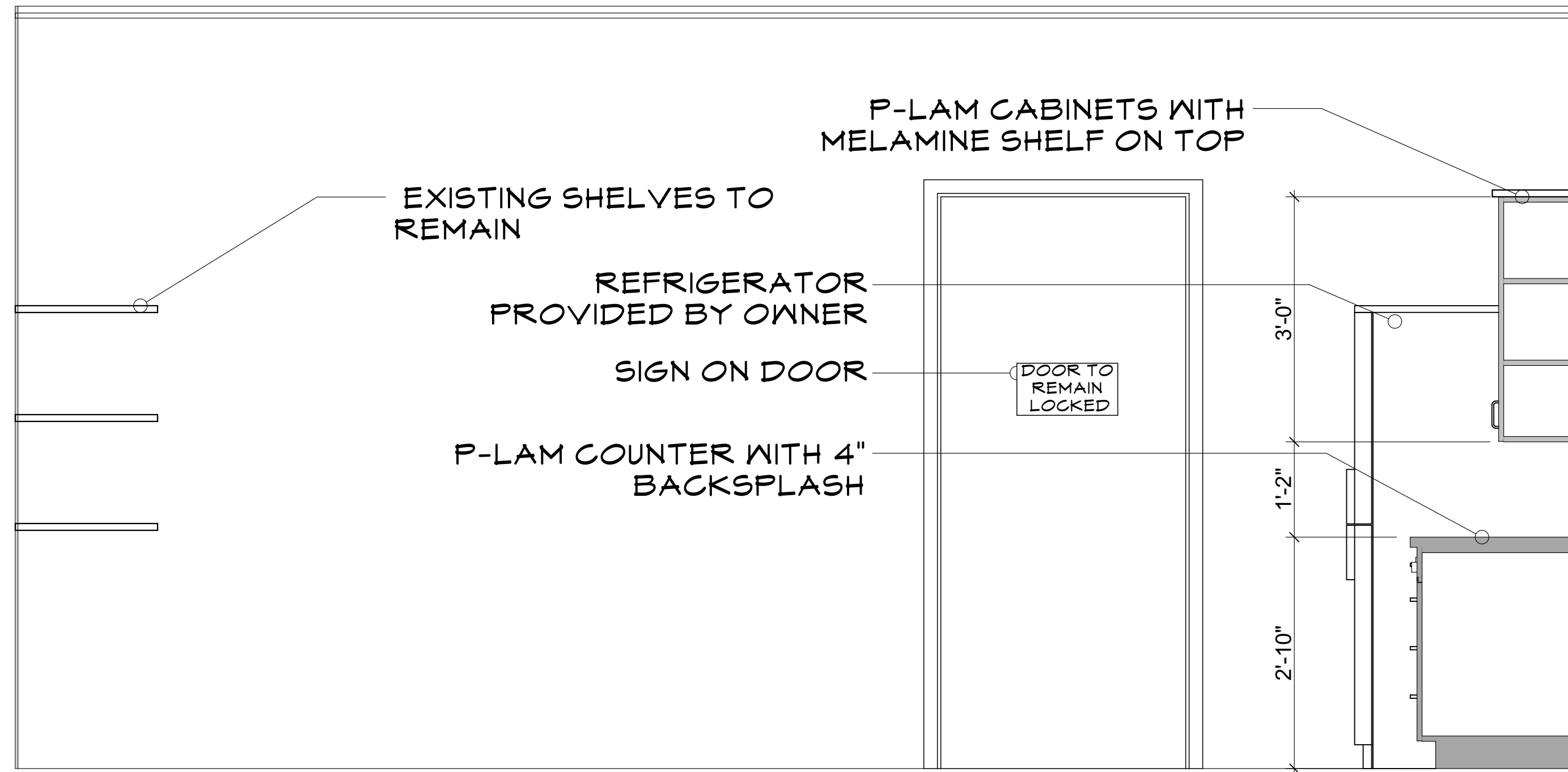
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PROPOSED
RENOVATION

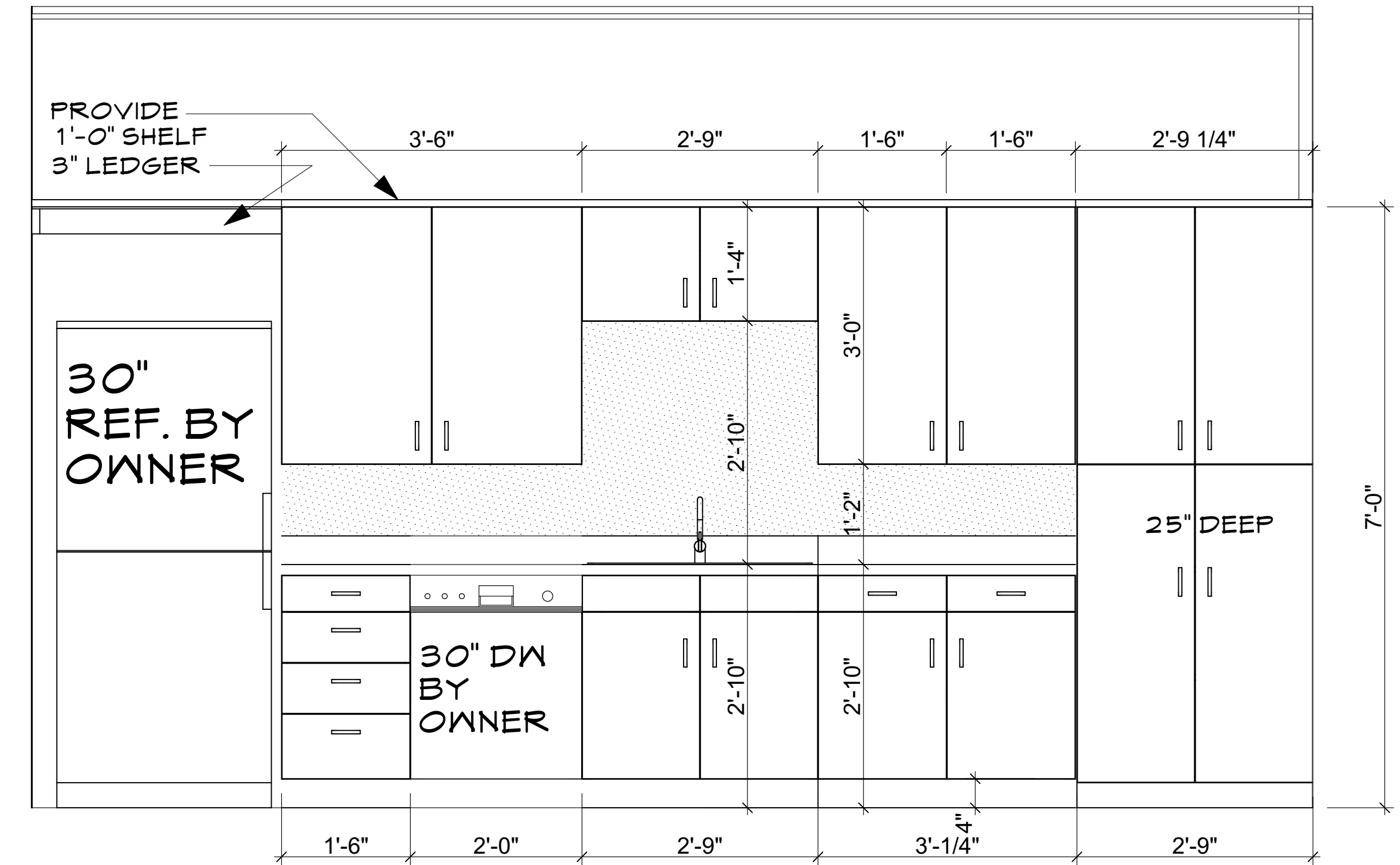
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A101



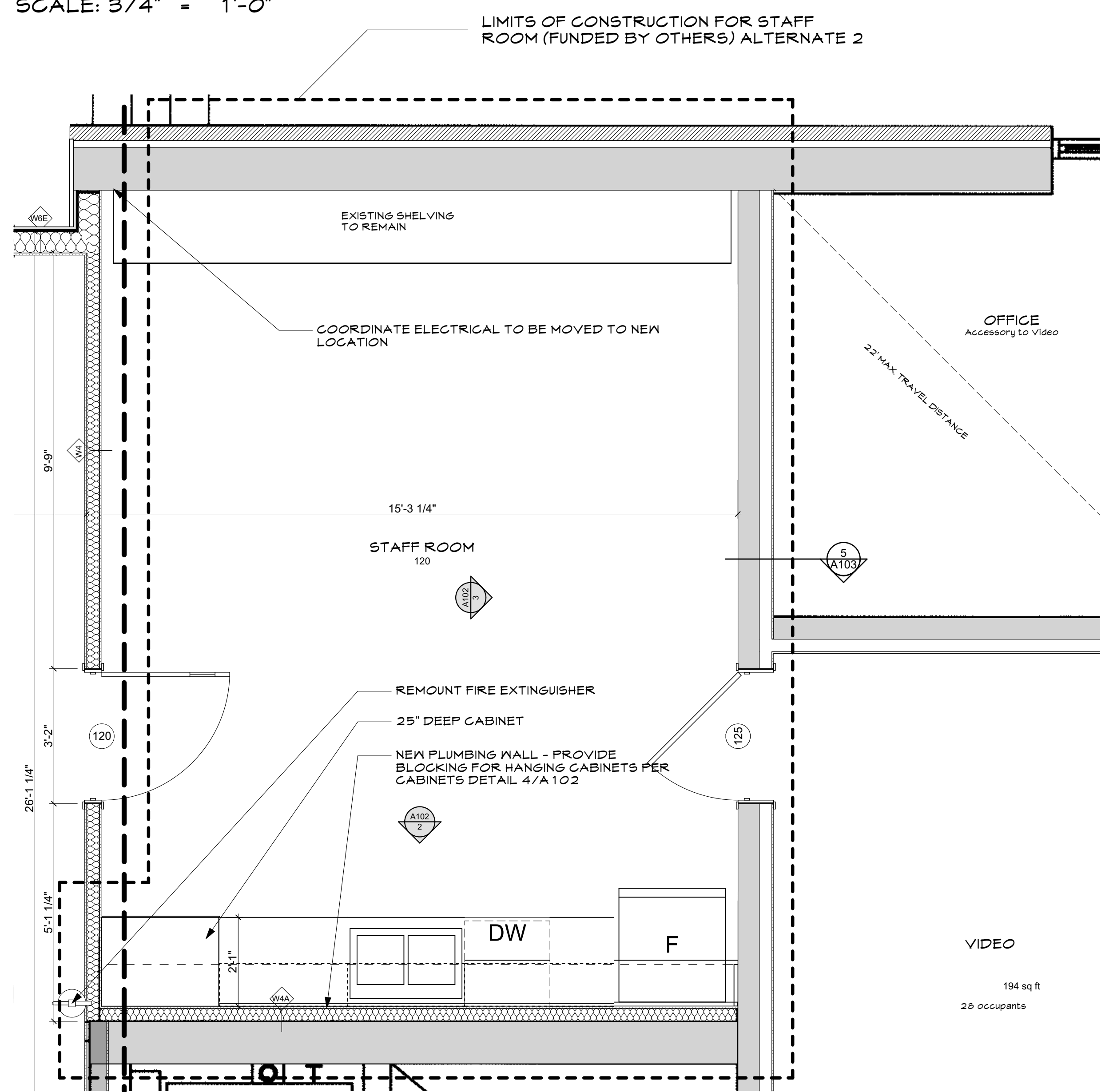
3 STAFF ROOM KITCHEN SECTION
SCALE: 3/4" = 1'-0"



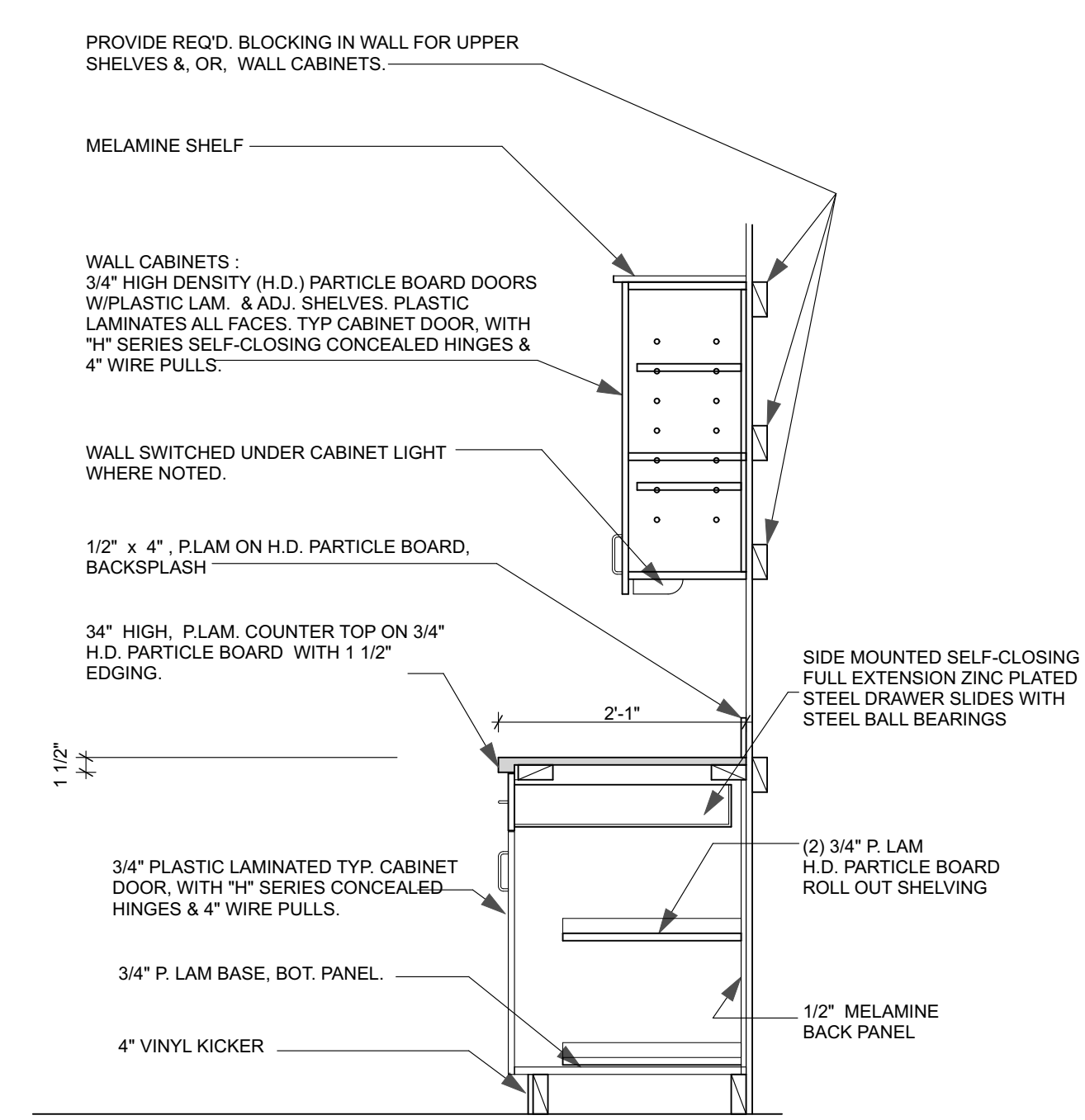
2 STAFF ROOM KITCHEN ELEVATION
SCALE: 3/4" = 1'-0"

GENERAL STAFF ROOM NOTES
STAFF ROOM WORK TO BE ALTERNATE 2 - SEPARATE PRICING TO BE WORK FUNDED BY OTHERS AND NOT PART OF THE BASE BID

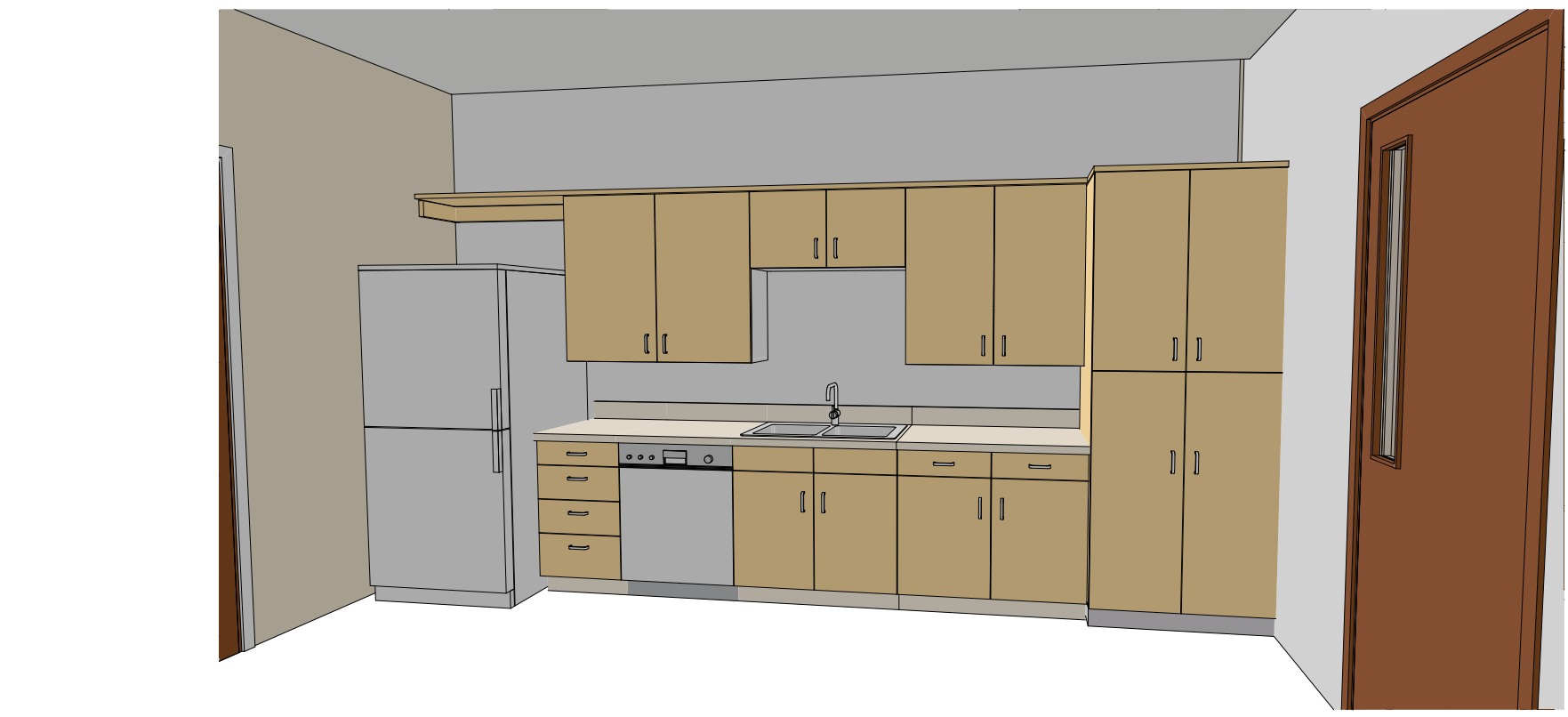
- A ALL WORK INSIDE OF NEW CORRIDOR WALL TO BE PART OF ALTERNATE TO INCLUDE CABINETS WITH ASSOCIATED PLUMBING AND ELECTRICAL, SHELVING, WALL BEHIND CABINETS AND PAINTING OF THREE PERIMETER WALLS. DOOR HARDWARE AND EXIT SIGN TO BE INCLUDED IN BASE BID.
- B EACH CONTRACTOR TO CAREFULLY EXAMINE EXISTING CONDITIONS AND VERIFY IN FIELD ALL DIMENSIONS AT THE TIME OF BID.
- C REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR WORK IN THOSE TRADES. THE CONTRACTOR IS TO COORDINATE WORK OF THOSE TRADES.
- D COORDINATE LOCATION OF ALL MEP. ALL CEILINGS TO BE RE-USED. ALL MECHANICAL VENTS AND DUCTING TO REMAIN, UNLESS NOTED OTHERWISE.
- J SALVAGE ALL ELECTRICAL UNLESS NOTED OTHERWISE ON ELECTRICAL PLANS.
- K RETAIN CEILINGS IN STAFF AREA. REFER TO SCHEDULE FOR OTHER LOCATIONS.
- L EXISTING VCT TILE FLOORING TO REMAIN.
- H PROVIDE ADDITIONAL PAINTING AS NEEDED IN STAFF ROOM THAT IS NOT COVERED IN BASE BID.



1 STAFF ROOM
SCALE: 1/2" = 1'-0"

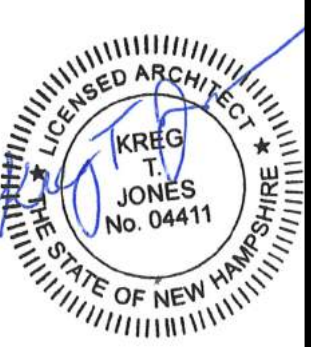


4 Typical Cabinet Section
SCALE: 3/4" = 1'-0"



5 Staff Room
SCALE: 1/8" = 1'-0"

DISCOVER PORTSMOUTH CENTER
RESTROOM AND ADA REMODEL
10 MIDDLE STREET
PORTSMOUTH NEW HAMPSHIRE



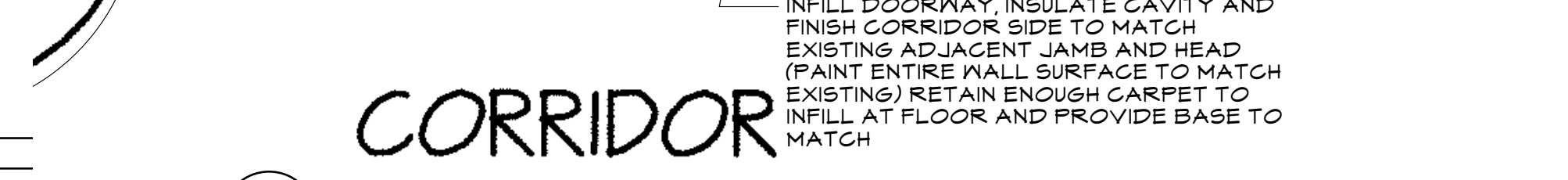
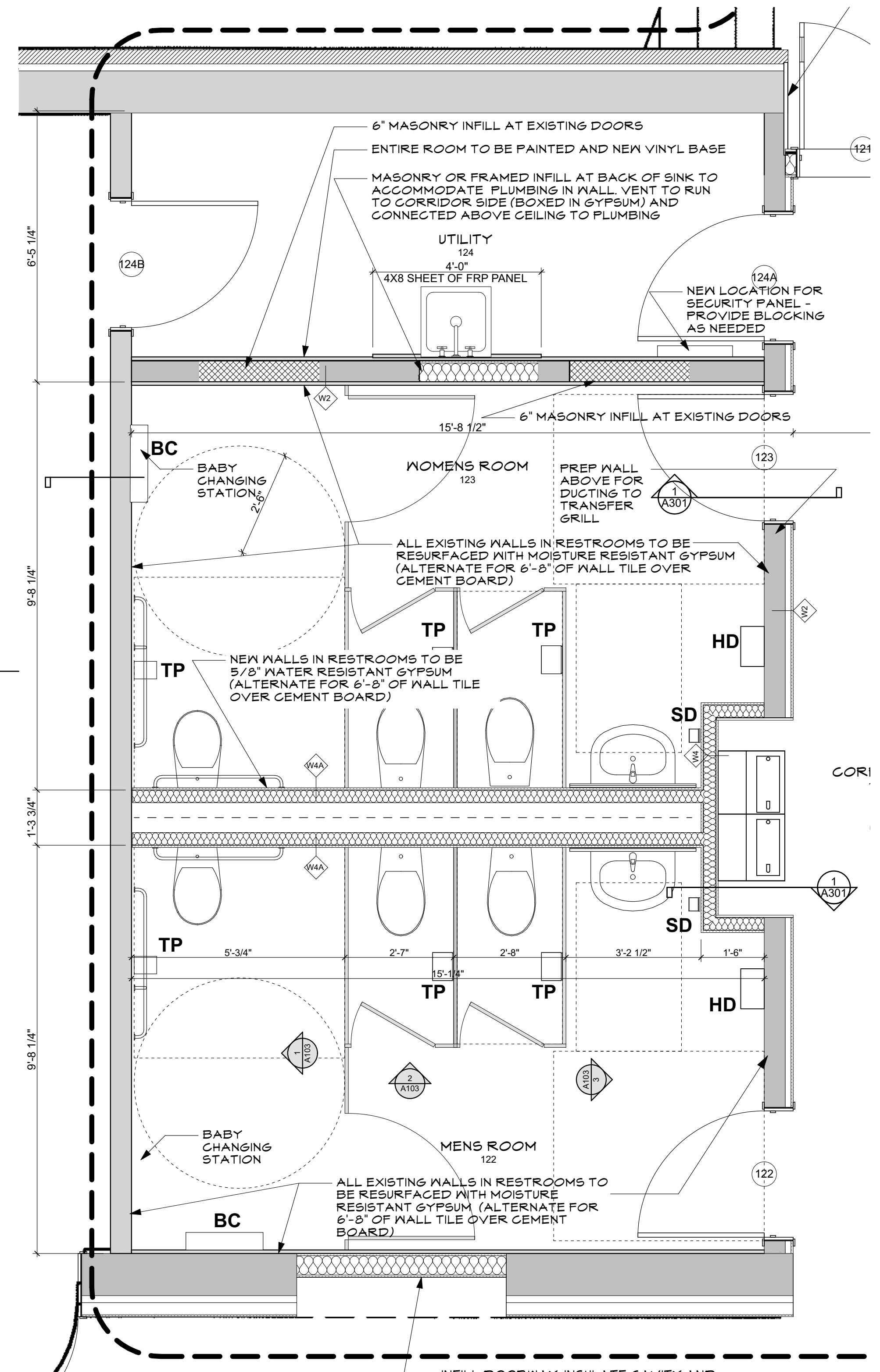
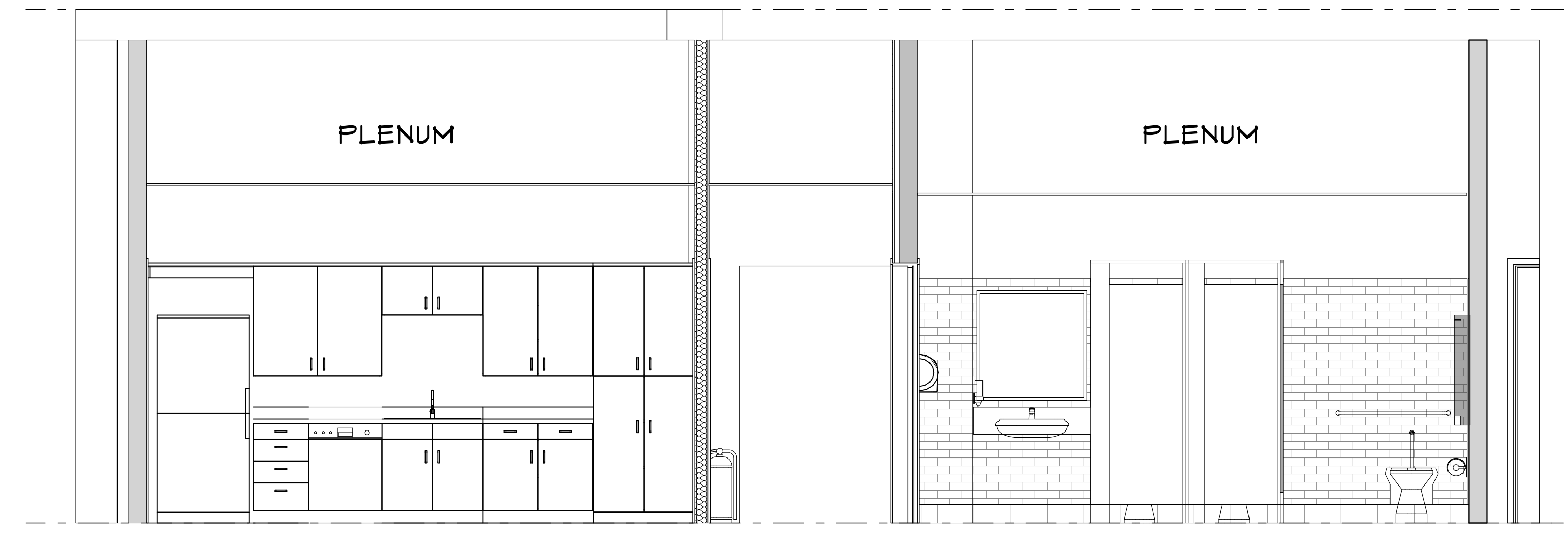
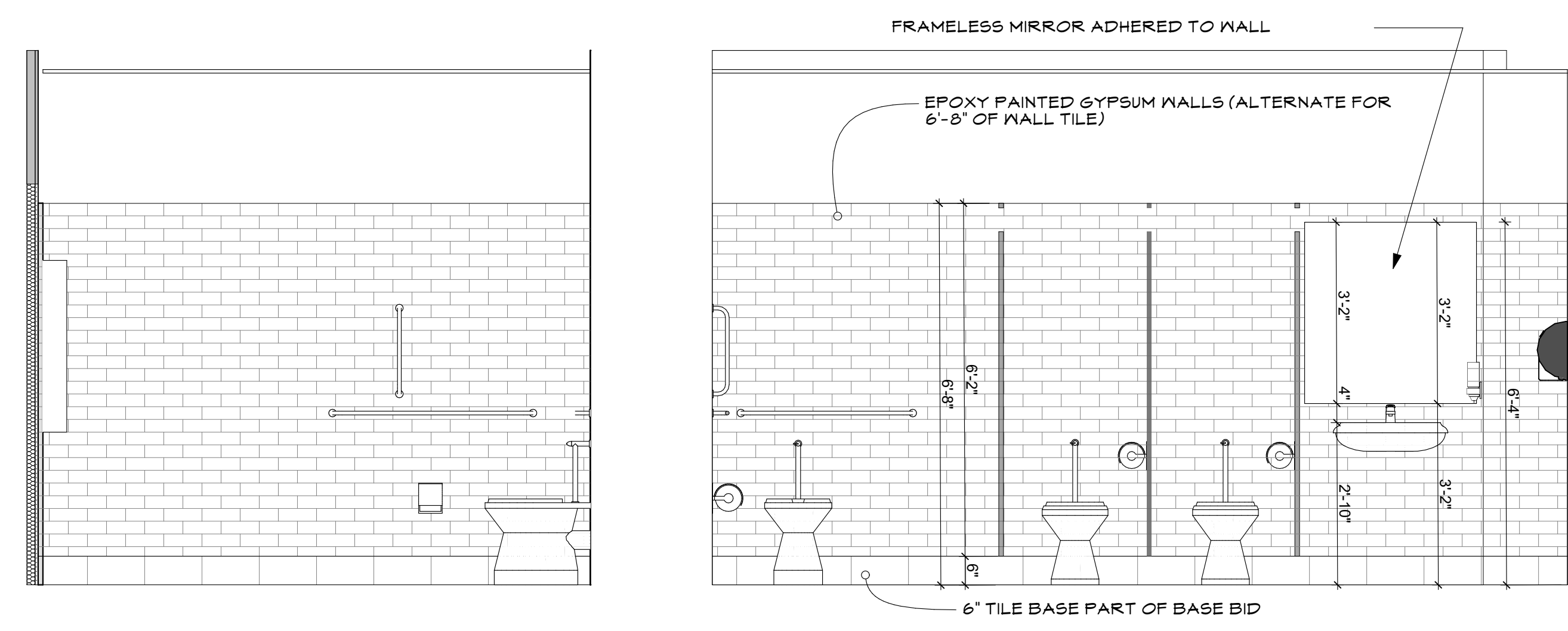
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STAFF ROOM PLANS

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12-2-19
date:
proj. no.: 2014.072

A102



4 RESTROOMS
SCALE: 1/2" = 1'-0"

GENERAL TOILET ROOM NOTES

A BUILDER OPTION TO USE PLASTER OVER METH LATH ON CMU WALLS (ALTERNATE WITH TILE PER ELEVATIONS)

WALL ACCESSORY & A.D.A SCHEDULE																		
#	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
DESCRIP.	WALL MOUNTED DRINKING FOUNTAIN	TOILET PAPER DISPENSER	PAPER TOWEL DISPENSER	NAPKIN RECEPTACLE	VERTICAL GRAB BAR	HORIZONTAL GRAB BAR	HORIZONTAL GRAB BAR	MIRROR	SOAP DISPENSER	PAPER TOWEL DISPENSER & RECEPTACLE	CHANGING STATION	FIRE EXTINGUISHER W/ CABINET	SHOWER CURTAIN ROD	ROBE HOOK	TOWEL BAR	TOILET	LAVATORY	URINAL
PLAN																		
ELEVATION																		

NOTES:
1. ALL GYPSUM WALLBOARD WHERE SPECIFIED IN CONTACT WITH CERAMIC TILE SHALL BE MOISTURE RESISTANT.
2. ALL TOILET ROOMS AND SHOWERS SHALL RECEIVE 5/8" MOISTURE RESISTANT GYPSUM WALLBOARD WHERE GWB IS SPECIFIED.
3. ALL WALLS RECEIVING GYPSUM WALLBOARD (GWB), PROVIDE 1 COAT PRIMER AND TWO COATS FINISH PAINT. COLOR BY ARCHITECT.
4. ALL ACCESSORIES SHALL COMPLY WITH APPLICABLE ACCESSIBILITY CODES, INCLUDING BUT NOT LIMITED TO: BOCA, ADA, NHBFC, ANSI-117.1 2003

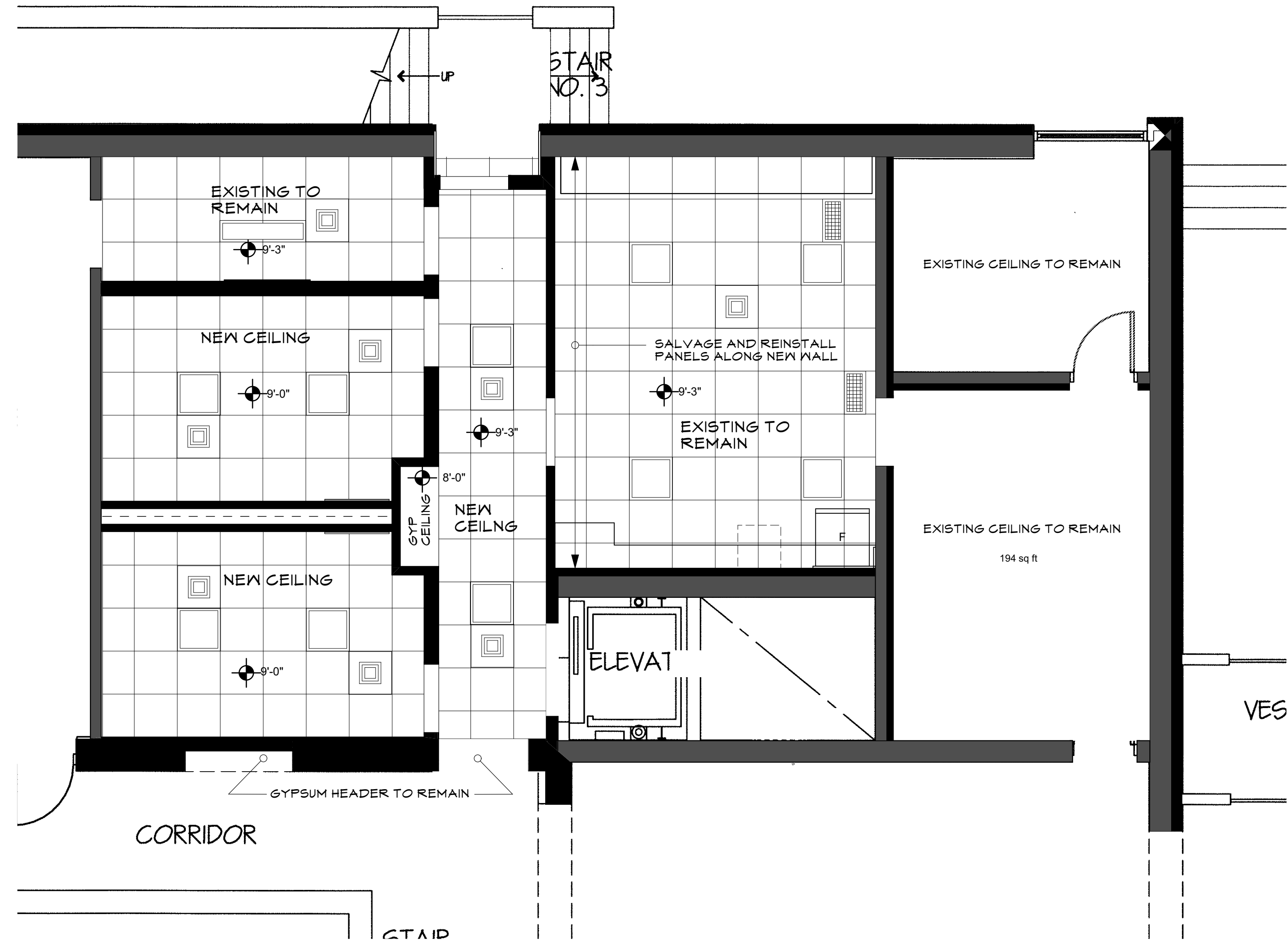
TOILET ROOM ACCESSORIES	
TP TP HOLDER	GLOBAL INDUSTRIES MODEL T9A31870099A - SURFACE MOUNT
SD SOAP DISPENSER	GLOBAL INDUSTRIES MODEL T9A640807 - SURFACE MOUNT
BC BABY CHANGER	KARMA BABY COMMERCIAL HORIZONTAL DIAPER CHANGING STATION SKU :1621-KB-18004
HD HAND DRYER	XLERATOR HAND DRYER TEXTURED GRAPHITE MODEL: XL-GR

CEILING LEGEND

- 2x4 CEILING TILE
- 2x2 CEILING TILE
- CEILING HEIGHT
- 2x4 LIGHTING
- 2x2 LIGHTING
- GYPSUM WALLBOARD CEILING OR SOFFIT
- SURFACE MOUNTED LIGHT FIXTURE
- SUSPENDED LIGHT FIXTURE
- PENDANT LIGHT FIXTURE
- RECESSED DOWNLIGHT
- CEILING MOUNT EXIT SIGN
- SMOKE DETECTOR
- CEILING MOUNTED SPEAKER
- WALL MOUNTED LIGHT FIXTURE (SCONCE)

NOTES:

- 1) TYPICAL 24"x24" ACOUSTICAL CEILING PANELS TO BE ARMSTRONG 1912 "ULTIMA" BEVELED TEGULAR W/ SUPRAFINE 9/16" EXPOSED TEE GRID. COLOR OF GRID AND PANELS TO BE WHITE.
- 2) LIGHTING AND MECHANICAL SYMBOLS ARE SHOWN FOR LAYOUT PURPOSES ONLY. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR FIXTURE, EQUIPMENT, LOCATIONS & SPECIFICATIONS.
- 3) COORDINATE ALL CEILING TYPES AND HEIGHTS WITH REFLECTED CEILING PLANS. LOCATIONS IN FIELD WITH OWNER



1 Reflected Ceiling Plan
SCALE: 1/4" = 1'-0"



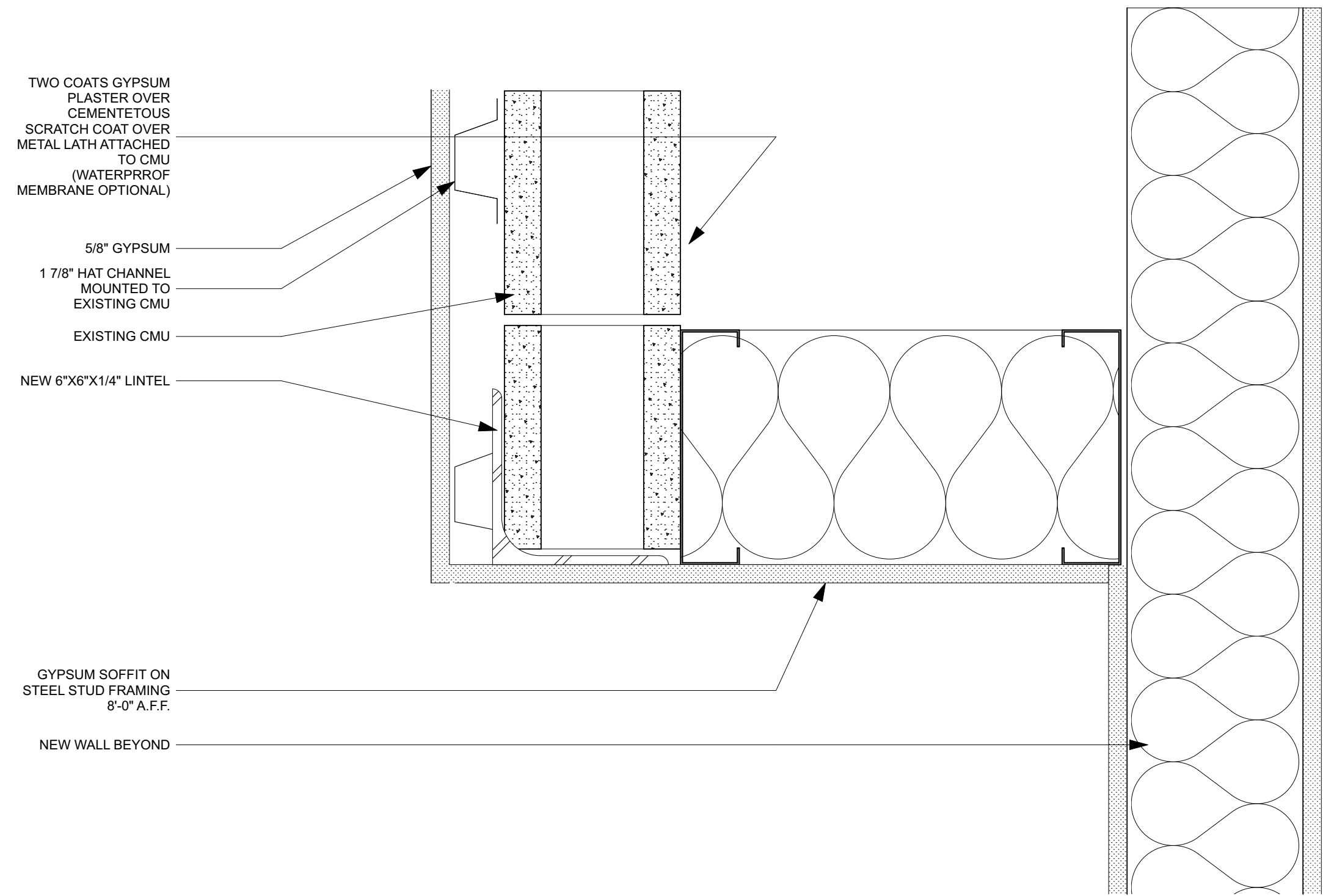
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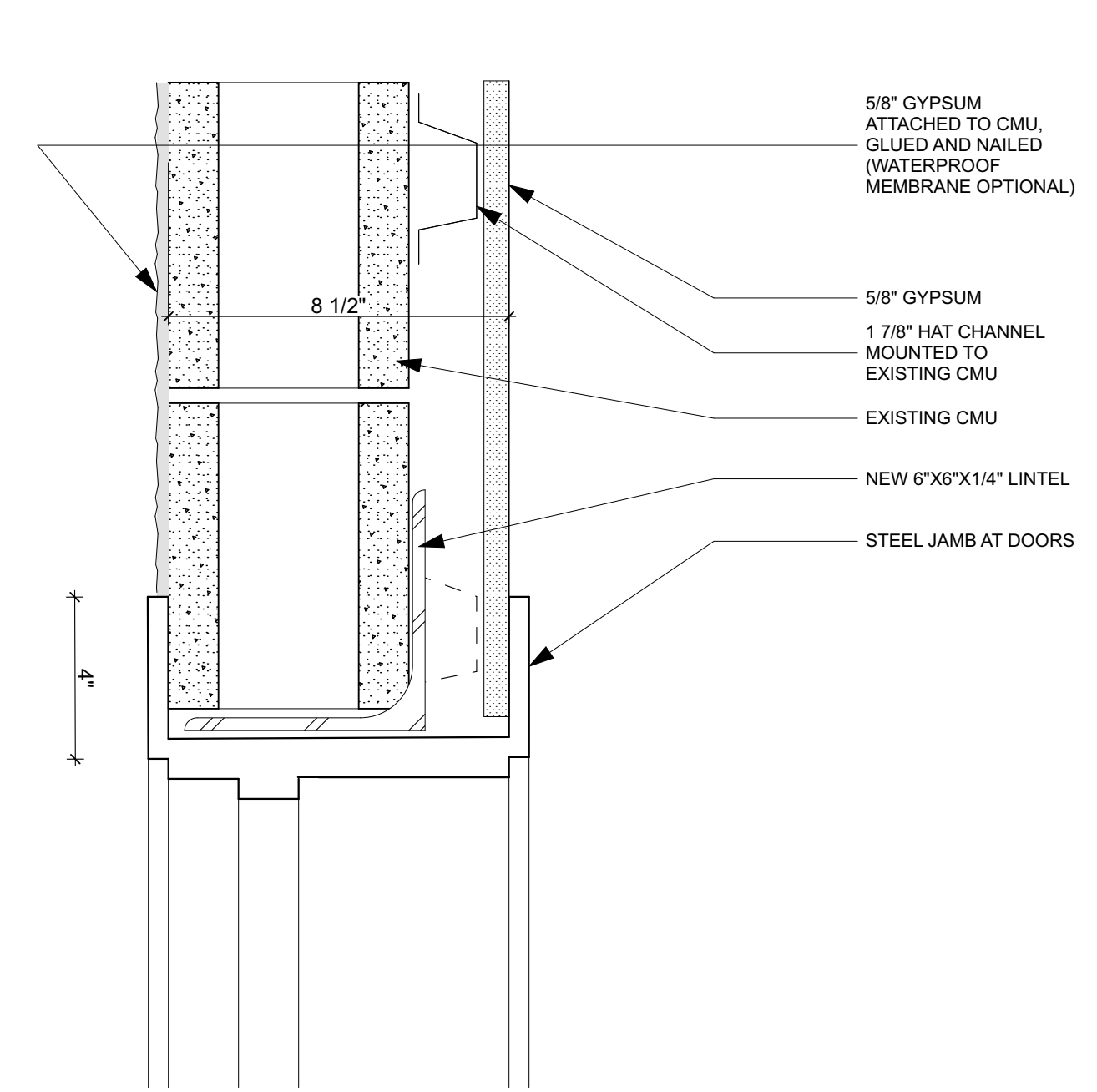
REFLECTED CEILING PLAN

revisions:

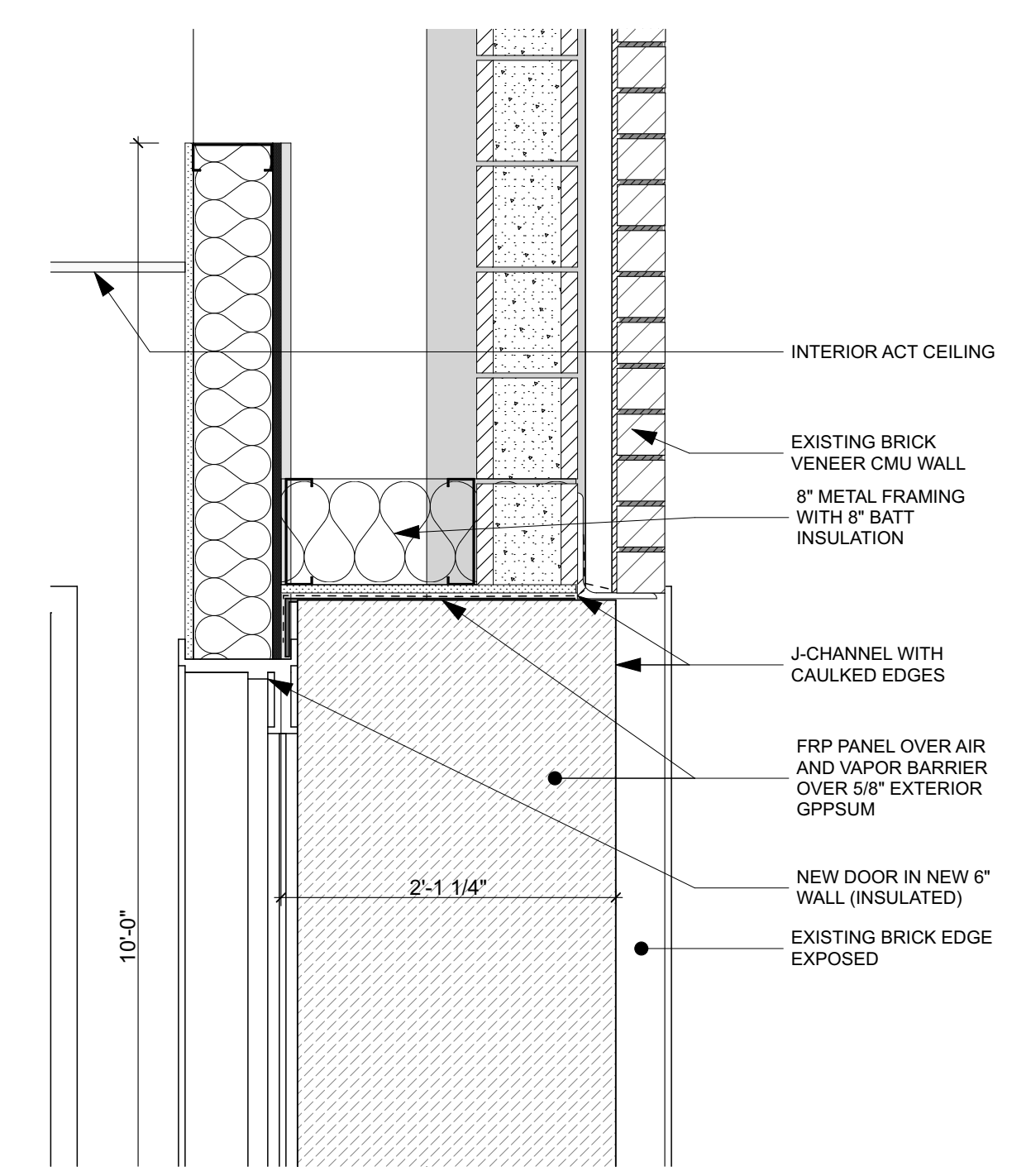
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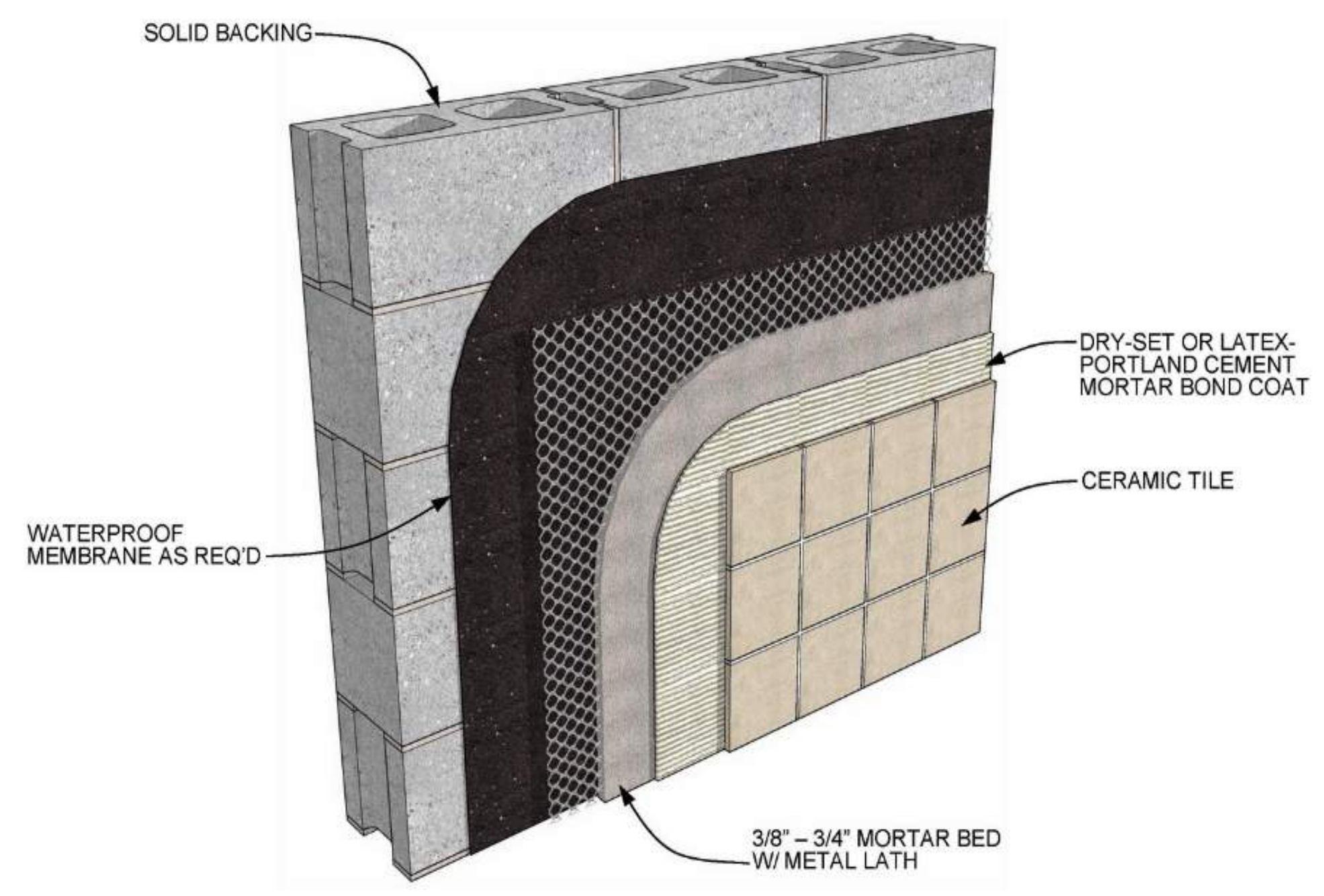
1 HEADER DETAIL AT WATER COOLER
SCALE: 3" = 1'-0"



1 Masonry Header Detail
SCALE: 3" = 1'-0"

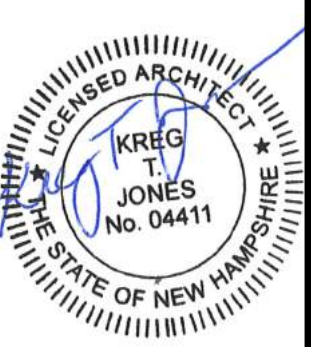


1 SECTION AT REAR ENTRY DOOR
SCALE: 1" = 1'-0"



CERAMIC TILE FINISH OVER CMU DETAIL

DISCOVER PORTSMOUTH CENTER
RESTROOM AND ADA REMODEL
10 MIDDLE STREET
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Wall Sections & Details

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12-2-19
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proj. no.: 2014.072

A301

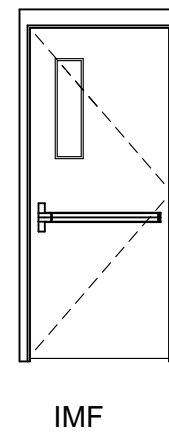
1. MOHAWK -LIVE & LEARN - SIDE STRIPE (566 CENTRAL) - 1/4 TURN PATTERN
2. DAL TILE: 12X24 LINDEN POINT (LP21 GRIGIO) & 3X12 BULLNOSE BASE W/ SCHLUTER COVE WITH WALLTILE 3X6 DESERT GRAY - MATTE
3. JOHNSONITE VINYL BASE 4"
4. VCT: VINYL COMPOSITION TILE- MATCH EXISTING IN CORRIDOR

FINISH SCHEDULE												
#	ROOM	Area	Floor	WALLS				CEILING		#	NOTES	
				North	South	East	West	Base	FINISH			HEIGHT
120	STAFF ROOM	286	Existing VCT	-	GYP	GYP	-	VINYL	Existing ACT	9'-3"	120	PAINT WALLS COMPLETE
121	CORRIDOR	150	CARPET TILE	GYP	GYP	GYP	GYP	VINYL	ACT	9'-3"	121	PAINT WALLS COMPLETE
122	MENS ROOM	139	12X36 CER. TILE	GYP	GYP	GYP	GYP	6" TILE	ACT	9'-0"	122	PAINT WALLS COMPLETE, ALTERNATE- 6'-8" CERAMIC WALL TILE
123	WOMENS ROOM	152	12X36 CER. TILE	GYP	GYP	GYP	GYP	6" TILE	ACT	9'-0"	123	PAINT WALLS COMPLETE, ALTERNATE- 6'-8" CERAMIC WALL TILE
124	UTILITY	95	9"X9" VCT	-	-	CMU INFILL	-	VINYL	Existing ACT	9'-3"	124	PAINT WALLS COMPLETE

TYPICAL EXTERIOR & INTERIOR STEEL DOOR & FRAME:

EXTERIOR:

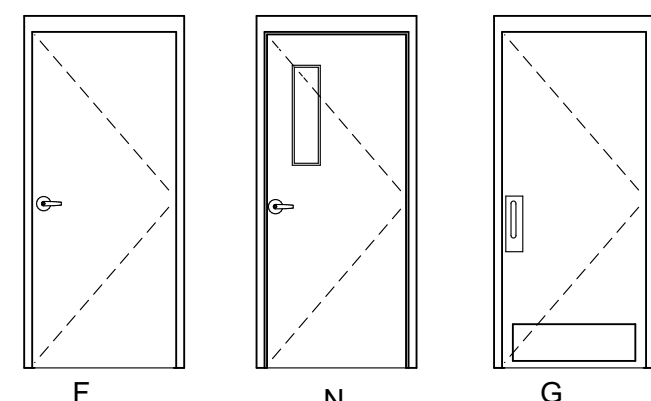
16 GA. FULL FLUSH PRIMED & PTD. G60 GALVANIZED. INSULATED TO U.23 W/ EXPANDED POLYSTYRENE. INSULATED & TEMPERED GLAZING AT VISION PANELS.



IMF

TYPICAL INTERIOR DOORS & FRAMES:

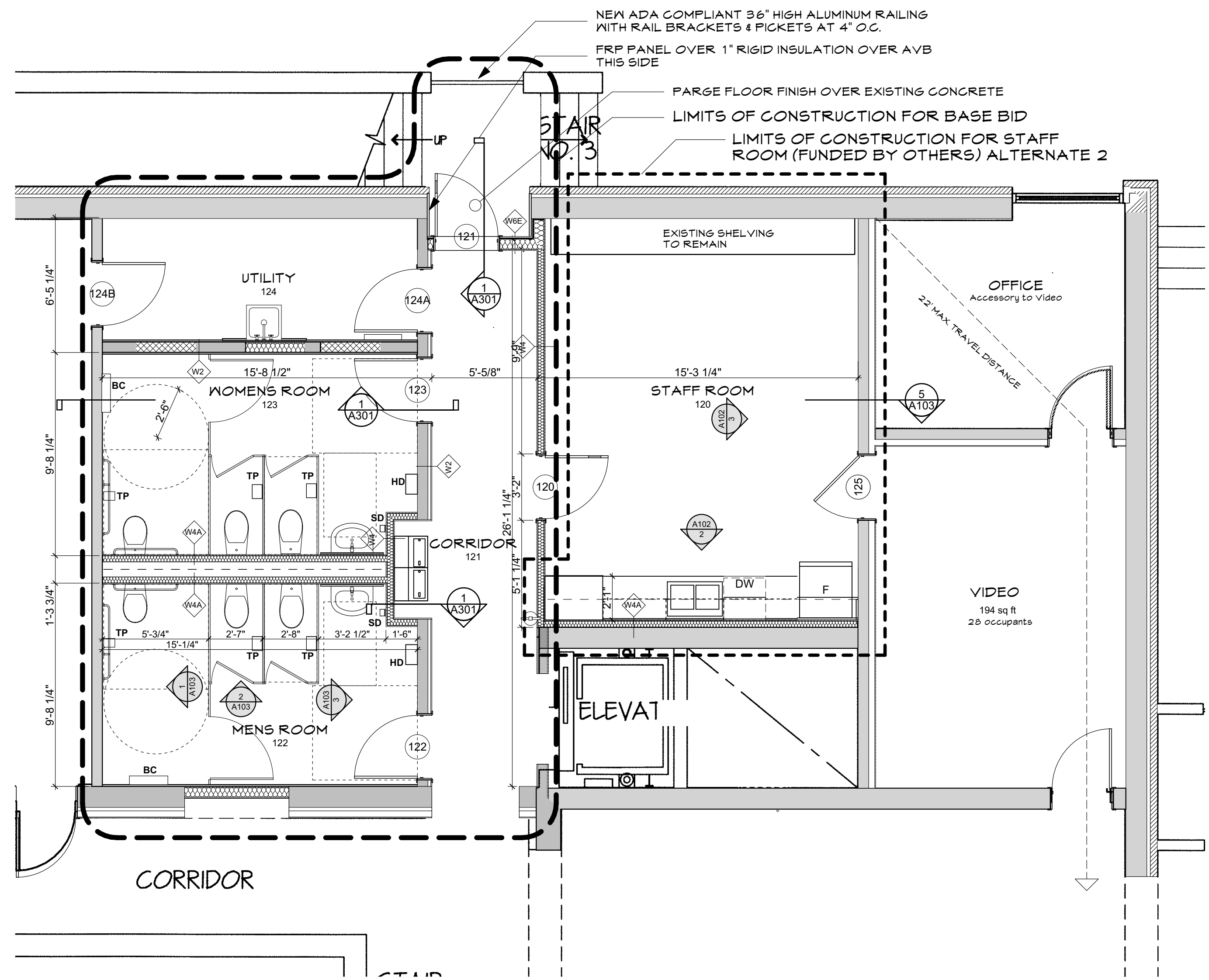
1 3/4" 7-PLY SOLID CORE FLUSH DOOR W/ HARDWOOD VENEER (MAPLE) PREFINISHED PARTICLE CORE W/ 30 PCF DENSITY. MINERAL CORE AT RATED DOORS, MATCHING LAMINATED STILES. ADHESIVES SHALL CONTAIN NO FORMALDEHYDE. 1/4" TEMPERED SAFETY GLASS AT VISION PANELS. 3/4" FIRE RESISTIVE SAFETY GLASS AT FIRE RATED OPENINGS. FIRE RESISTIVE GLASS TO MEET REQUIREMENTS OF ASTM E119 SUPERLITE X 45/60/90 NON WIRED FIRE PROTECTIVE GLAZING OR APPROVED EQUAL. HOLLOW METAL FRAMES. WELDED FRAMES AT MASONRY WALLS. 2" DRYWALL KD 18 GA. 1/2" BACKBEND. 16 GA. AT FIRE RATED OPENINGS. PRIMED. COMPRESSION ANCHORS & 7 GA. HARDWARE REINFORCEMENTS.



HARDWARE NOTES:

TYPICAL HARDWARE SET SHALL CONSIST OF ALL STANDARD COMPONENTS FOR THE OPERATION/FUNCTION SHOWN EVEN IF NOT LISTED HERE. TO INCLUDE: FIVE-KNUCKLE, FULL MORTISE, BALL BEARING HINGES BY IVES (STAINLESS @ EXTERIOR.) LOCKSETS & DEADBOLTS BY SCHLAGE. ND-SERIES. TUBULAR. FUNCTION AS NOTED. SATIN CHROME US26D FINISH. EXIT DEVICES & MULLIONS BY FALCON. 24/25 SERIES. DOOR CLOSERS BY FALCON. SC70 SERIES. PUSH & PULL PLATES & BARS. IVES 9100 SERIES. PROTECTION PLATES. IVES 8400 SERIES. STOPS & HOLDERS BY IVES. SILENCERS BY IVES. MAGNETIC-HOLD OPENS BY LCN. CYLINDERS & KEYING BY SCHLAGE. THRESHOLDS & WEATHERSTRIPS BY REESE. POWER OPERATORS & DOOR ACTUATORS. LCN 4640/8310 SERIES. 10" S.S KICKPLATES S.S PUSH PLATES

INTERIOR SIGNAGE IS REQUIRED AT ALL INTERIOR DOORS W/ ROOM NAME/# PER ADA STANDARDS. THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS TO BE POSTED AT ALL EXTERIOR DOORS."



First Floor Plan
SCALE: 1/4" = 1'-0"

TYPICAL HC TOILETS (BOTH MEN'S & WOMEN'S)

ADA APPROVED RAISED INJECTION MOLDED PICTOGRAM TYP. MEN & WOMEN

RAISED ROOM NAME **WOMEN**

ENGRAVED BRAILLE DOTS.

ALL OTHER SIGNAGE

NOT AN EXIT

VIDEO

ENGRAVED BRAILLE DOTS. RAISED ROOM NUMBER/NAME

UTILITY

STAFF ROOM

TYPICAL INTERIOR PANEL SIGNAGE:

1" HIGH X 1/8" RAISED ACRYLIC LETTERS ADHERED TO 1/8" CLEAR ACRYLIC PLATE WITH RADIUS CORNERS. FASTEN PLATE WITH (4) REMOVABLE SCREWS COUNTER SUNK IN ACRYLIC (TAMPER PROOF WHERE NOTED.)

* LETTER STYLE SHALL BE HELVETICA. COLOR BY ARCHITECT.

GENERAL NOTES:

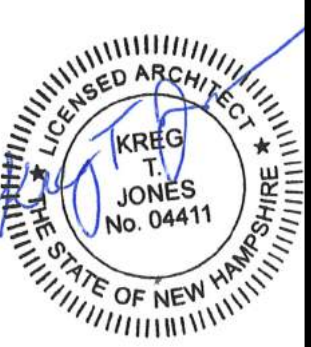
*REFER TO SPECIFICATIONS FOR SIGN DESIGNATIONS AND DETAILS.

*CONTRACTOR SHALL COORDINATE WITH BUILDING OWNER FOR FINAL ROOM NAME/NUMBER CONFIGURATION.

Interior Signage

DOOR AND FRAME SCHEDULE											
Door No.	W x H Size	Swing	Door			Frame		Lockset	Closer	Notes / Remarks	
			Core	Fin	Elev	Glazing	Mat				FrType
120	3'-0"x7'-0"		Wood Stain	N	Vision		Steel	4" Head	Keyed	No	
121	3'-0"x6'-8"		Ins. Stl. Paint	IMF	Vision		INS. Steel	4" Head	Keyed	Yes	Provide Push Bar and Kickplates
122	3'-0"x7'-0"		Wood Stain	G	No	No	Steel	4" Head	Push/Pull	Yes	Provide Push Plates and Kick Plates
123	3'-0"x7'-0"		Wood Stain	G	No	No	Steel	4" Head	Push/Pull	Yes	Provide Push Plates and Kick Plates
124A	3'-0"x7'-0"		Wood Stain	F	No	No	Steel	4" Head	Passage	No	
124B	3'-0"x7'-0"		Existing to Remain		No	No	Existing		Keyed		New Lever Handle only
125	3'-0"x7'-0"		Existing to Remain		No	No	Existing		Keyed		New Lever Handle only

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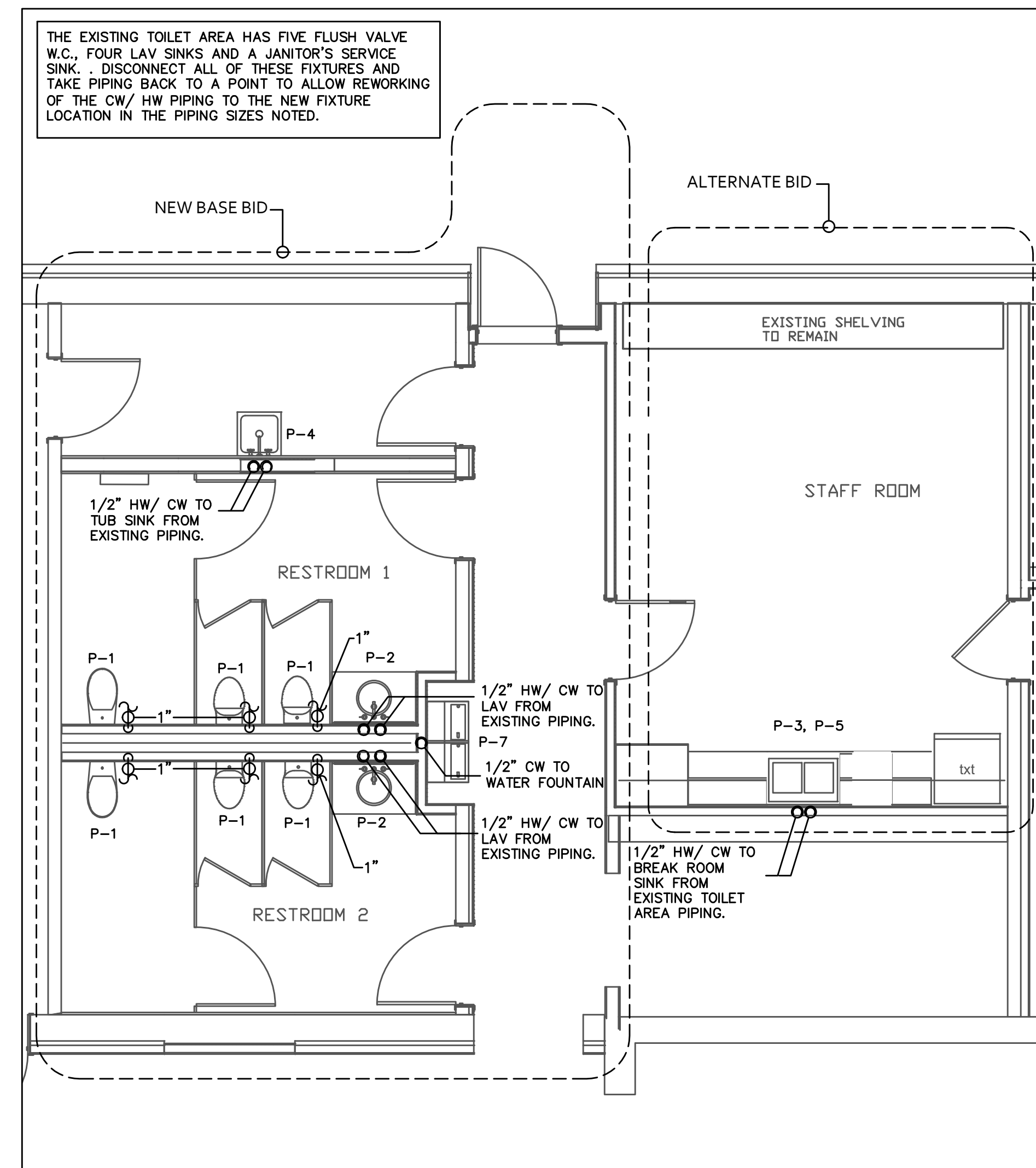
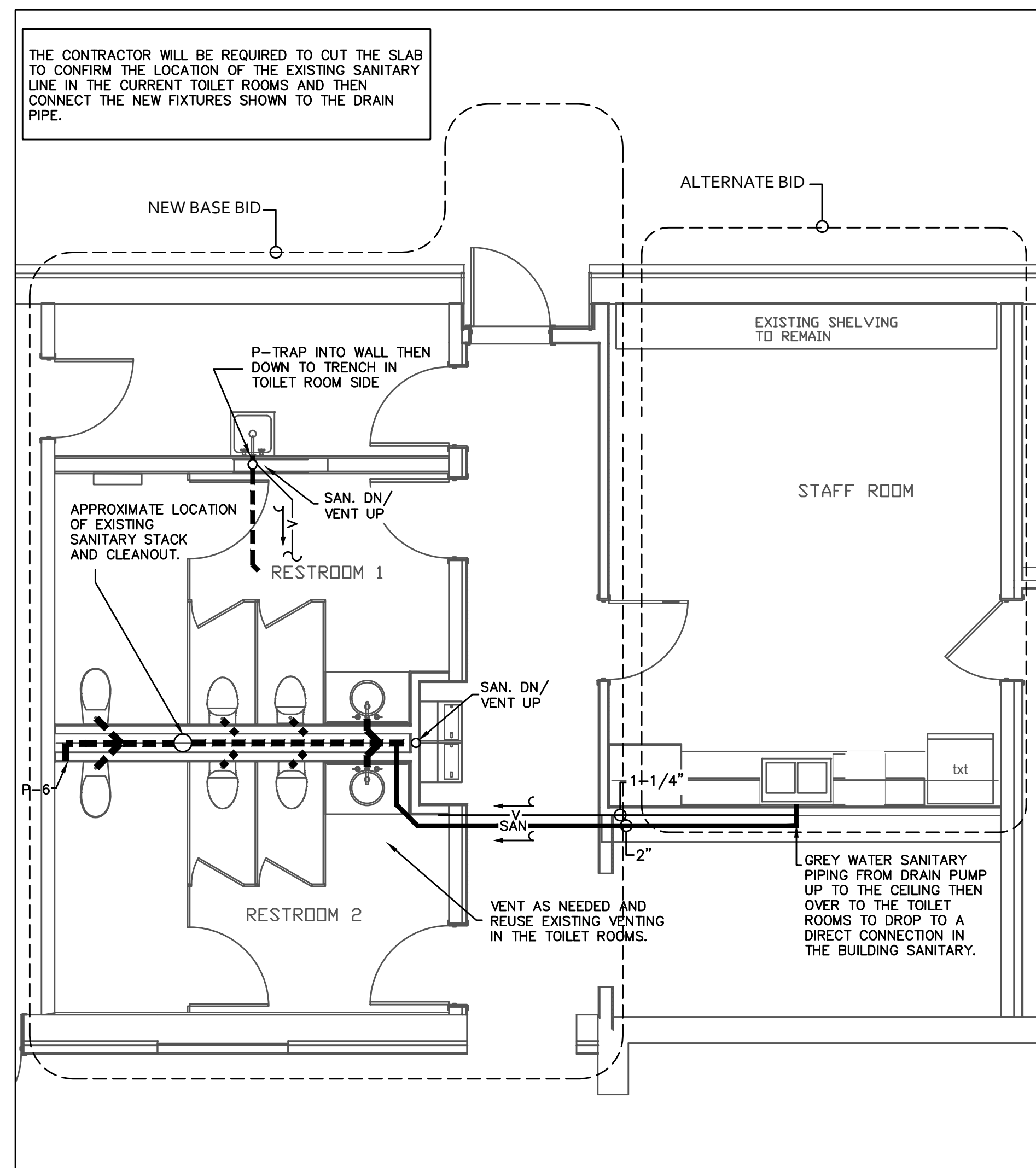
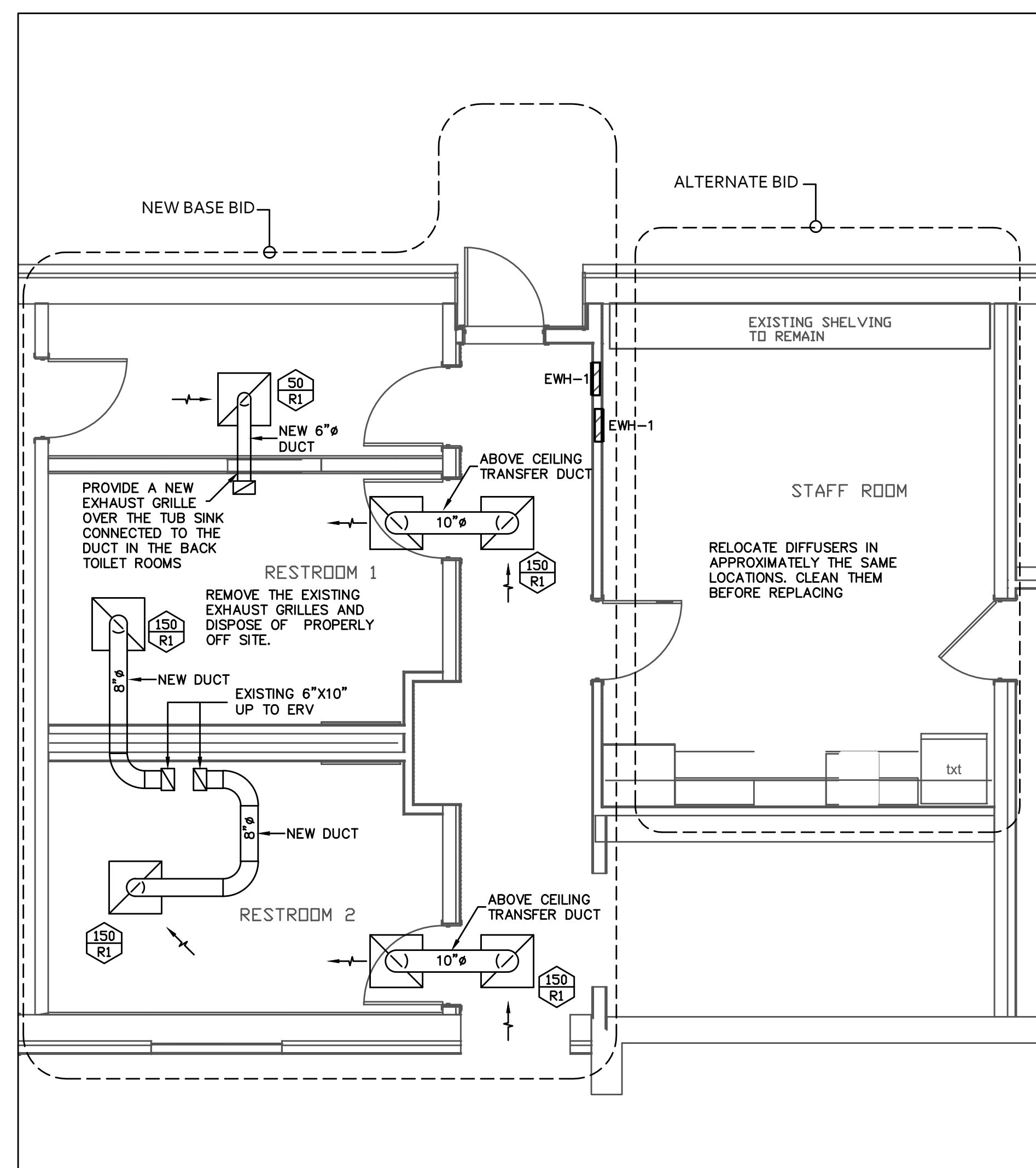
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Finish Plans and Schedules

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 12-2-19
 date:
 proj. no.: 2014.072

A601



1 HVAC DUCTWORK PLAN
1/4"=1'-0"

MARK	MAKE	MODEL	KW	VOLT/PH	AMPS	STYLE	NOTES
EWH-1	QMARK	CWH2101DS	1.0/0.5	120/1	8.4	RECESSED/SURFACE MOUNT	1

NOTES:
1. INTEGRAL THERMOSTAT

MARK	MAKE	MODEL	DAMPER	PATTERN	NECK SIZE	FRAME STYLE	MATERIAL	DESCRIPTION	NOTES
RGD-R-1	PRICE	80	NO	EGGCRATE	SEE DWGS	LAY-IN T BAR	AL/PLAST	RETURN	

NOTES:

MARK	DESCRIPTION	MAKE	MODEL	FIXTURE CONNECTIONS										FLOW CONTROL	FIXTURE UNITS				ACCESSORIES & NOTES	COLOR	
				SAN	VENT	TRAP	IW	COLD	HOT	140°F	ELECTRICAL	GAS	CW		HW	TOTAL	SAN				
P-1	ADA WC, FLUSHOMETER	KOHLER	K-4405-0	3"	2"	-	-	1"	-	-	-	-	-	-	1.28 GPF	5.00	-	5.00	4.00	K-4731-C-0, BATTERY SENSOR VALVE K-10956-SV-CP	WHITE
P-2	ADA LAV, WALL HUNG	KOHLER	K-2084	1-1/2"	1-1/2"	P-TRAP	-	1/2"	1/2"	-	-	-	-	-	0.5 GPM	1.50	1.50	2.00	1.00	BATTERY SENSOR FAUCET K-13461, HANGERS, ADA PROTECTIVE INSULATION	WHITE
P-3	BREAKROOM SINK	KOHLER	K-3145-4	1-1/2"	1-1/2"	P-TRAP	-	1/2"	1/2"	-	-	-	-	-	1.5 GPM	1.00	1.00	1.40	2.00	K-15176-FL-CP, 1054432, K-8801-CP	SS
P-4	LAUNDRY TUB SINK	FIAT	FL7	2"	1-1/4"	P-TRAP	-	1/2"	1/2"	-	-	-	-	-	2.2 GPM	2.25	2.25	3.00	2.00	A1000 FAUCET BLADE HANDLES, 4" CENTERS, CHROME	WHITE
P-5	DRAIN PUMP	SANICOM	1	1"	2"	-	-	-	-	-	-	-	-	-	17 GPM	-	-	-	-	-	-
P-6	WALL CLEANOUT	ZURN	Z1446	SEE DWGS	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
P-7	WATER FOUNTAIN	ELKAY	EZSLDDWSVRSK	1-1/2"	1-1/2"	P-TRAP	-	1/2"	-	-	-	-	-	-	-	-	-	-	-	DUAL HEIGHT ADA BOTTLE FILLER	SS

DISCOVER PORTSMOUTH CENTER
PORTSMOUTH, NH

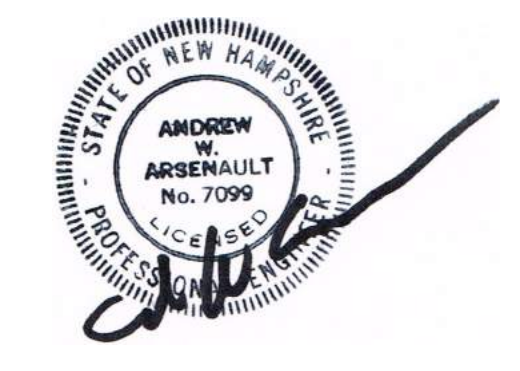
DESIGN DAY
Mechanicals Inc

DENNIS MILES, P.A.
ARCHITECTS
THE ARCHITECTS
600-425-5000 FAX: 603-825-1007

TOILET AND STAFF ROOM HVAC PLANS

SCALE: 1/4"=1'-0"
revisions:

date: 12/02/19
proj. no. -
DDM #19214

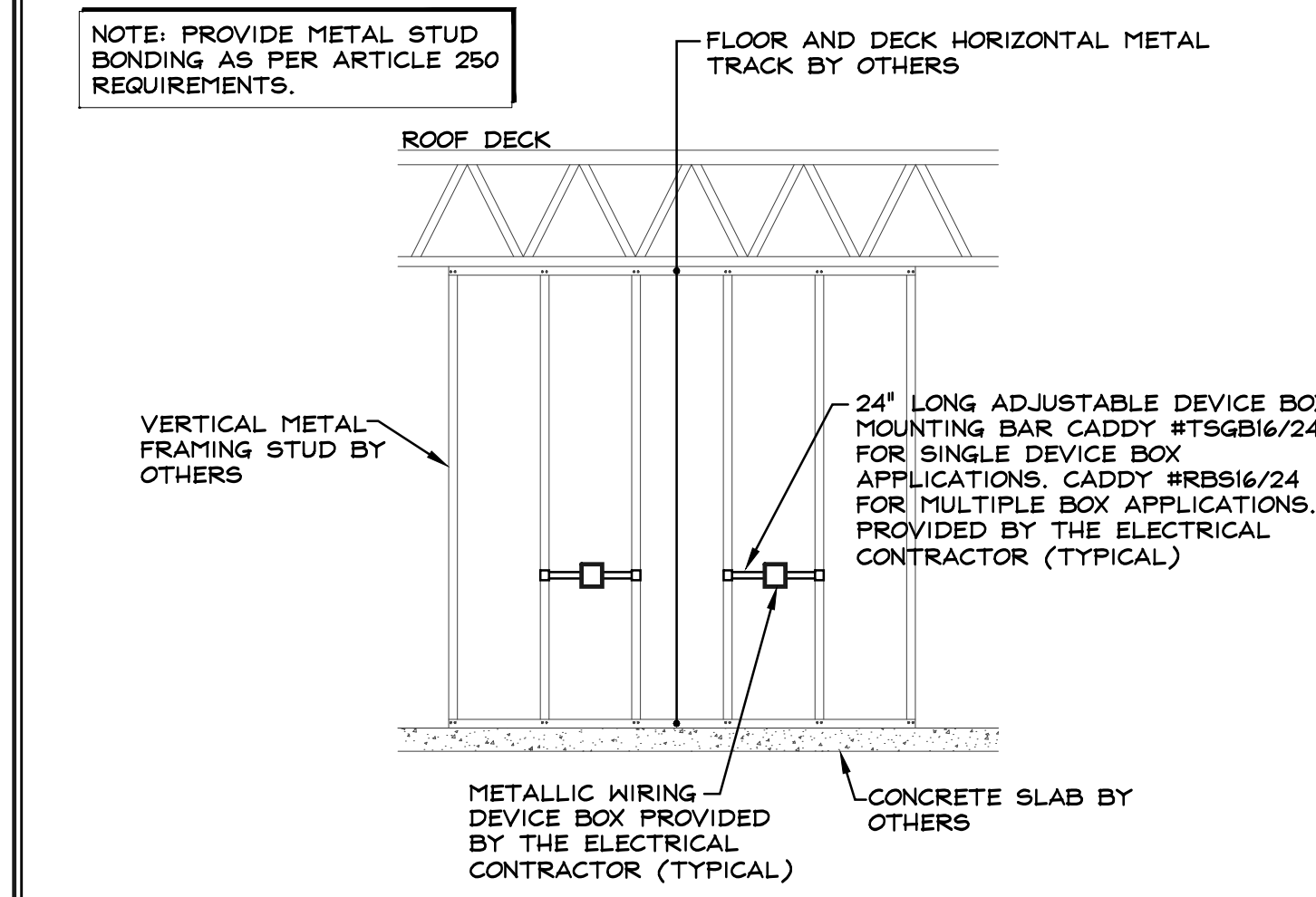


MP101

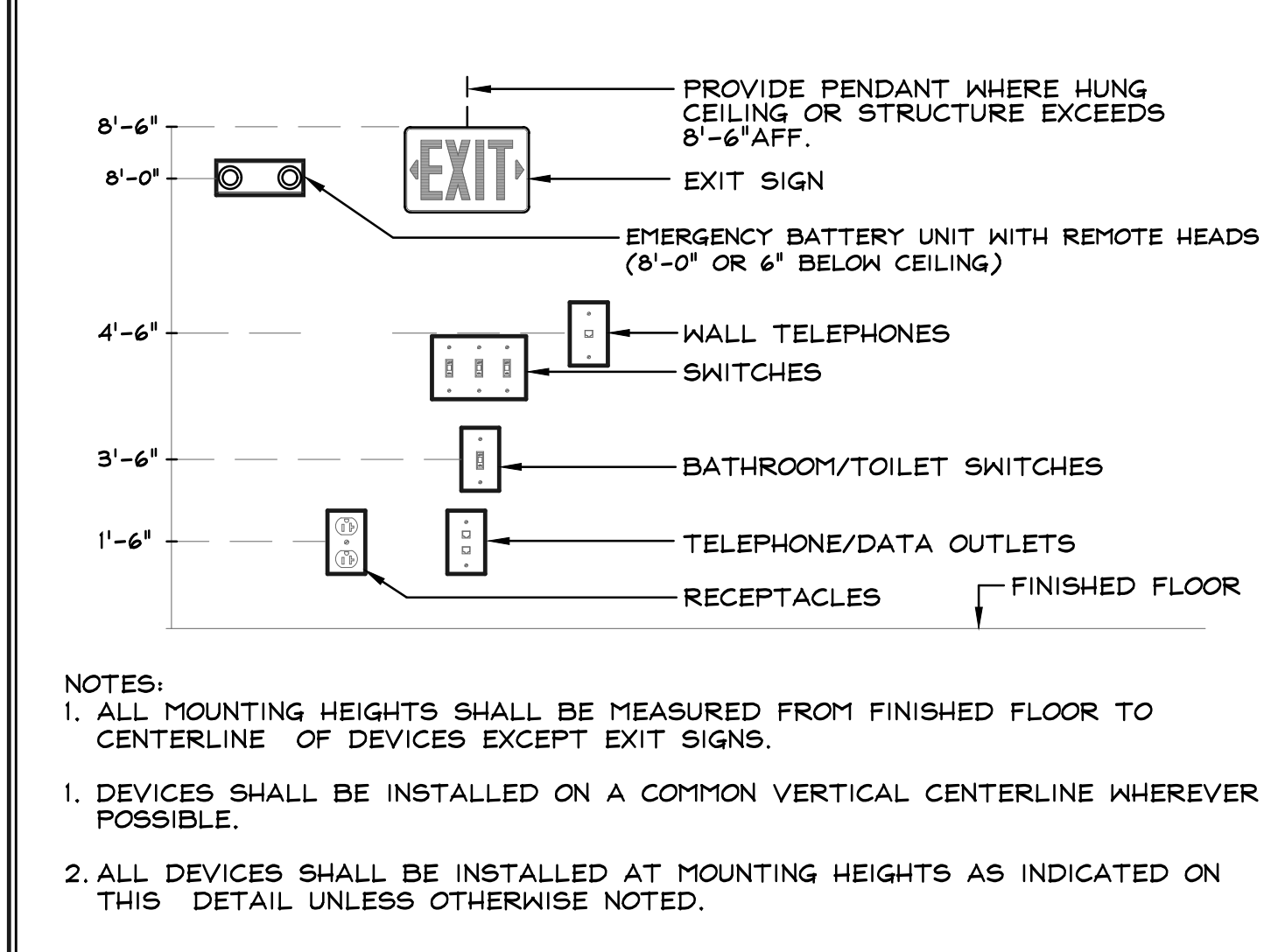
ELECTRICAL SPECIFICATIONS

1. THE GENERAL CONDITIONS SHALL BE CONSIDERED AS FORMING A PART OF THESE SPECIFICATIONS AND SHALL BE CAREFULLY EXAMINED BEFORE PROPOSALS FOR ANY WORK ARE SUBMITTED.
2. THE SCOPE OF WORK SHALL CONSIST OF ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE ALL WORK INDICATED ON THE DRAWINGS AND IN THESE SPECIFICATIONS. THE WORK SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO, THE FOLLOWING:
 - A. MODIFICATIONS TO THE SECONDARY DISTRIBUTION SYSTEM AS INDICATED ON THE DRAWINGS.
 - B. GROUNDING AND BONDING OF ELECTRICAL SYSTEMS AND EQUIPMENT.
 - C. WIRING DEVICES (SWITCHES AND RECEPTACLES) COMPLETE WITH ASSOCIATED WALL PLATES.
 - D. POWER WIRING TO HVAC, PLUMBING AND FIRE PROTECTION EQUIPMENT OR APPLIANCES.
 - E. LIGHTING SYSTEM INCLUDING ALL FIXTURES, LAMPS, SWITCHING, ETC. AS REQUIRED.
 - F. FIRE ALARM SYSTEM MODIFICATIONS COMPLETE WITH DEVICES AND WIRING.
 - G. ALL OTHER SYSTEMS HEREINAFTER SPECIFIED OR AS INDICATED ON THE DRAWINGS.
3. ALL ELECTRICAL WORK SHALL MEET OR EXCEED THE LATEST REQUIREMENTS OF ALL NATIONAL, STATE, MUNICIPAL AND OTHER AUTHORITIES HAVING JURISDICTION OVER ELECTRICAL CONSTRUCTION WORK AND THE PROJECT.
4. OBTAIN AND PAY FOR ALL PERMITS, FEES, INSPECTIONS, AND TESTS, AND COMPLY WITH ALL LAWS, ORDINANCES AND CODES PERTAINING TO THIS PORTION OF THE CONTRACT.
5. ALL WORK PROVIDED UNDER THIS SECTION SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF ACCEPTANCE OF THE WORK.
6. PRIOR TO PURCHASING ANY EQUIPMENT OR MATERIALS A LIST OF THEIR MANUFACTURERS AND "SHOP DRAWINGS" CATALOG CUTS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL.
7. ALL BRANCH WIRING, AND MAIN FEEDERS RUN IN EXPOSED AREAS SHALL BE RUN IN EMT RACEWAYS. COORDINATE ANY EXPOSED WIRING WITH ARCHITECT FOR APPROVAL PRIOR TO ROUGHIN. BRANCH CIRCUITRY RUN ABOVE SUSPENDED CEILING OR RUN WITHIN STUD WALLS SHALL BE METAL CLAD CABLE TYPE MC W/ INSULATED GROUND CONDUCTOR. ISOLATED GROUND RECEPTACLES CIRCUITS SHALL BE CIRCUITED WITH "HOSPITAL GRADE" BX.
8. ALL WIRING SHALL BE COPPER WITH 600V INSULATION, THIN OR THIN FOR BRANCH CIRCUITRY, AND XHHW FOR FEEDERS. MINIMUM CONDUCTOR SIZE SHALL BE #12 AWG. USE SOLID OR STRANDED CONDUCTORS FOR #12 AND #10 AWG. USE STRANDED COPPER FOR #8 AWG AND LARGER.
9. THE ELECTRICAL CONTRACTOR SHALL PROVIDE OUTLET, JUNCTION AND PULL BOXES AT ALL LOCATIONS WHERE THEY ARE REQUIRED TO FACILITATE THE PULLING, SUPPORTING, OR CONNECTING OF WIRES AND CABLES.
10. STANDARD DUPLEX CONVENIENCE RECEPTACLES SHALL BE 20A-125V-3 WIRE, GROUNDING TYPE BACK & SIDE WIRED, NEMA 5-20R, WHITE IN COLOR. STANDARD SWITCHES SHALL BE TOGGLE TYPE, AC QUITE DESIGN, 20A 125V/277V, SPEC GRADE WHITE IN COLOR. PROVIDE WHITE PLASTIC WALLPLATES WITH ALL WIRING DEVICES.
11. ALL EQUIPMENT AND SYSTEMS SHALL BE GROUNDED IN ACCORDANCE WITH BEST INDUSTRY PRACTICE AND SHALL COMPLY WITH NATIONAL ELECTRICAL CODE CURRENTLY ENFORCED REQUIREMENTS.
12. BEFORE AN APPLICATION FOR FINAL ACCEPTANCE OF THE WORK, ALL TESTS DEEMED NECESSARY BY THE ARCHITECT TO SHOW PROPER EXECUTION OF THE WORK SHALL HAVE BEEN PERFORMED AND COMPLETED IN THE PRESENCE OF THE ARCHITECT. ANY DEFECTS OR DEFICIENCIES DISCOVERED IN ANY OF THE ELECTRIC WORK SHALL BE CORRECTED.
13. AS PART OF THE ELECTRICAL WORK, A COMPLETE SET OF "AS BUILTS" OR RECORD ELECTRICAL DRAWINGS SHALL BE MADE UP AND DELIVERED TO THE ARCHITECT. THE DRAWINGS SHALL BE PREPARED ON AUTOCAD AND SUBMITTED ON DISK AND ONE SET OF REPRODUCIBLE PLOTS AT THE COMPLETION OF THE PROJECT.
14. SUPPORT AND FASTEN ELECTRICAL WORK IN ACCORDANCE WITH BEST INDUSTRY PRACTICE.
15. ALL ELECTRICAL CONDUIT SHALL BE RUN CONCEALED WHEREVER POSSIBLE. RUN EXPOSED CONDUIT PERPENDICULAR OR PARALLEL TO BUILDING WALLS OR COLUMNS.
16. EXCEPT WHERE MODIFIED BY A SPECIFIC NOTATION TO THE CONTRARY, IT SHALL BE UNDERSTOOD THAT THE INDICATION AND/OR DESCRIPTION OF ANY ELECTRICAL ITEM IN THE DRAWINGS OR SPECIFICATIONS FOR ELECTRICAL WORK CARRIES WITH IT THE INSTRUCTION TO FURNISH, INSTALL AND CONNECT THE ITEM AS PART OF THE ELECTRICAL WORK REGARDLESS OF WHETHER OR NOT IT IS SPECIFICALLY STATED TO DO SO.
17. IT SHALL BE UNDERSTOOD THAT THE SPECIFICATIONS AND DRAWINGS FOR ELECTRICAL WORK ARE COMPLEMENTARY AND ARE TO BE TAKEN TOGETHER FOR A COMPLETE INTERPRETATION OF THE ELECTRICAL WORK, EXCEPT THAT INDICATIONS ON THE DRAWINGS, WHICH REFER TO AN INDIVIDUAL ELEMENTS OF WORK, TAKE PRECEDENCE OVER THE SPECIFICATIONS WHERE THEY CONFLICT WITH SAME.
18. THE ELECTRICAL CONTRACTOR SHALL BE PERMITTED TO INSPECT THE CONDITIONS AT THE SITE, IF HE/SHE SO DESIRES. FAILURE TO INSPECT EXISTING CONDITIONS OR TO FULLY UNDERSTAND THE WORK WHICH IS REQUIRED SHALL NOT EXCUSE THE ELECTRICAL CONTRACTOR FROM HIS/HER OBLIGATIONS TO FURNISH AND INSTALL THE WORK IN ACCORDANCE WITH THESE SPECIFICATIONS AND THE CONTRACT DRAWINGS AND UNDER ALL SITE CONDITIONS AS THEY EXIST.
19. IN SPACES WITHIN SUSPENDED CEILING UTILIZED AS RETURN AIR PLENUMS, ALL WIRING SYSTEMS MUST EITHER BE RUN IN METALLIC RACEWAYS OR SHALL BE UL APPROVED FIRE RATED PLENUM CABLE.
20. ALL MATERIALS SHALL BE NEW AND SHALL BEAR THE UL LABEL.
21. THE INSULATION OF EACH WIRE OR CABLE SHALL BE COLOR CODED, AS PER THE 120/208V OR 277/480V NATIONAL ELECTRIC CODE CURRENTLY ENFORCED REQUIREMENTS.
22. Q102B DISTRIBUTION SWITCHES SHALL BE NEMA TYPE HEAVY DUTY (GENERAL DUTY WHERE 60A OR LESS) HORSEPOWER RATED SWITCHES.
23. THE HVAC CONTRACTOR SHALL PROVIDE MAGNETIC MOTOR STARTERS WHERE INDICATED FOR MECHANICAL EQUIPMENT. PROVIDE AUXILIARY CONTACTS IN MOTOR STARTERS WHERE REQUIRED FOR INTERLOCKING PURPOSES.
24. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING, PATCHING OR CORING OF WALL AND FLOOR SURFACES REQUIRED FOR THE INSTALLATION OF ANY ELECTRICAL WORK.
25. PROVIDE A TEMPORARY LIGHTING AND POWER SYSTEM THROUGHOUT THE SPACE FOR USE DURING THE CONSTRUCTION PERIOD. USE THE EXISTING PANELBOARDS FOR THE TEMPORARY FEED POINT. PROVIDE ALL EQUIPMENT THAT MAY BE REQUIRED INCLUDING METERING, PANELS, ETC. REMOVE ALL TEMPORARY WIRING, FIXTURES AND OUTLETS AT THE TERMINATION OF THE CONSTRUCTION PERIOD. THE GENERAL CONTRACTOR SHALL PAY FOR ALL ENERGY CONSUMED DURING THE CONSTRUCTION PERIOD.
26. THE GENERAL CONTRACTOR SHALL X-RAY THE SLAB BEFORE CUTTING OR CORING ANY EXISTING CONCRETE SLABS OR SURFACES.
27. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEMOLITION AND REMOVAL OF ALL EXISTING ELECTRICAL WORK IN THE DESIGNATED RENOVATED AREAS UNLESS SPECIFICALLY NOTED OTHERWISE. COORDINATE ALL ITEMS TO BE DEMOLISHED WITH THE ARCHITECT BEFORE COMMENCING WORK.
28. OUTLETS OR DEVICES MOUNTED ON EXISTING C.M.U. WALLS SHALL BE SURFACE MOUNTED IN APPROPRIATE BOXES.
29. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND RE-INSTALLING ALL EXISTING CEILING TILES REQUIRED FOR THE ELECTRICAL CONTRACTOR TO PERFORM HIS/HER WORK.
30. ALL DRY TYPE TRANSFORMERS SHALL BE VENTILATED TYPE AND SHALL BE TP-1 RATED.
31. ALL WIRING DEVICES SHALL HAVE THEIR PANELBOARD ORIGIN AND CIRCUIT NUMBERS STAMPED OR TAPED ON THE BACKSIDE OF THEIR ASSOCIATED WALLPLATE.
32. PANELBOARDS SHALL BE OF BOLT-ON CONSTRUCTION WITH EQUIPMENT GROUND BAR AND TYPED CIRCUIT DIRECTORIES.
33. ALL NEW FIRE ALARM DEVICES SHALL BE AS MANUFACTURED BY THE EXISTING FIRE ALARM MANUFACTURER.
34. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR TESTING THE FIRE ALARM SYSTEM AT THE COMPLETION OF THE WORK TO THE SATISFACTION OF THE LOCAL FIRE DEPARTMENT OR THE LOCAL AUTHORITY HAVING JURISDICTION.

TYPICAL DEVICE BOX INSTALLATION @ METAL STUD



TYPICAL DEVICE MOUNTING HEIGHT DETAIL



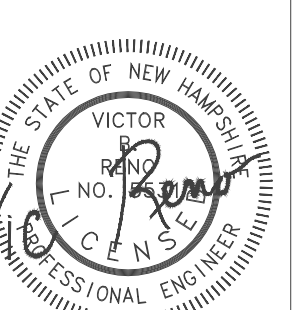
LIGHT FIXTURE SCHEDULE

TYPE	DESCRIPTION	MANUFACTURER & CATALOG NO.	LAMPS		INPUT		REMARKS
			NO.	TYPE	VOLTS	WATTS	
B	18" ROUND, LED SURFACE MOUNT DOWNLIGHT CEILING SURFACE MOUNT	JUNO LIGHTING # JSF 13IN 18LM 35K 90CRI 120FRPC WH	LED	LED 90+CRI 3500K	120	20	-
E	3", LED WALL LIGHT WALL MOUNT ABOVE MIRROR	LITHONIA LIGHTING # FMVCL5 36IN MVOLT 30K35K40K 90CRI BN	LED	LED 90CRI 3000K	MVOLT	25	-
F	4", LED STRIP CEILING SURFACE MOUNT	LITHONIA LIGHTING # SHLP 48IN 40K 80CRI DNA M12	LED	LED 80CRI 4000K	120	36	-
UC2	2", LED UNDER CABINET LIGHT MOUNT UNDER CABINET	LITHONIA LIGHTING # UCEL 24IN 30K 90CRI WH	LED	LED 90CRI 3000K	120	10	-
UC3	3", LED UNDER CABINET LIGHT MOUNT UNDER CABINET	LITHONIA LIGHTING # UCEL 36IN 30K 90CRI WH	LED	LED 90CRI 3000K	120	15	-
XW XC XP	SINGLE FACE UNIVERSAL MOUNT ILLUMINATED LED EXIT SIGN WITH INTEGRAL EMERGENCY BATTERY	LITHONIA LIGHTING # LGM-5-W-3-R-120/277-ELN	LED	LED	120 277	2.9	PROVIDE DIRECTIONAL ARROWS AS INDICATED

LIGHT FIXTURE SCHEDULE NOTES

1. THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL ALL LIGHTING FIXTURES COMPLETE WITH MOUNTING ACCESSORIES TO MEET JOB CONDITIONS.
2. THE ELECTRICAL CONTRACTOR SHALL VERIFY FIXTURE MOUNTING AND EXACT LOCATIONS AGAINST ARCHITECTS REFLECTED CEILING PLANS, ELEVATIONS AND DETAIL DRAWINGS.
3. ALL FIXTURES SHALL BE SUPPORTED FROM THE BUILDING STRUCTURE, INDEPENDENT OF HUNG CEILING.
4. EXACT LOCATIONS AND MOUNTING HEIGHTS OF ALL FIXTURES SHALL BE CONFIRMED WITH THE ARCHITECT PRIOR TO ROUGHING IN.
5. INFORMATION LISTED IN THE SECOND COLUMN OF THE FIXTURE SCHEDULE ABOVE SETS THE GENERAL DESCRIPTION OF EACH FIXTURE. INFORMATION LISTED IN THE THIRD COLUMN OF THE FIXTURE SCHEDULE SETS THE STANDARD OF QUALITY. IF DISCREPANCIES ARISE BETWEEN DESCRIPTION OF FIXTURE AND THE CATALOG NUMBER THEN NOTIFY THE ENGINEER BEFORE ORDERING SAID FIXTURE.
6. MANUFACTURERS AND CATALOG NUMBERS ARE LISTED IN THE FIXTURE SCHEDULE TO SET A STANDARD OF QUALITY FOR THE LIGHTING FIXTURES. SUBSTITUTION OF LIGHTING FIXTURES WILL BE ALLOWED WHEN THE SUBSTITUTED FIXTURE(S) EQUAL OR EXCEED THE AESTHETIC AND PERFORMANCE CHARACTERISTICS OF THE LIGHTING FIXTURE(S) SPECIFIED, AND ARE APPROVED BY THE ENGINEER.
7. FOR ALL FIXTURES EQUIPPED WITH REFLECTORS; PROVIDE ALIGNER CLIPS AT ALL FIXTURE JOINTS.
8. ALL RECESSED FIXTURES INSTALLED IN AREAS SEPARATING CONDITIONED AND UNCONDITIONED SPACES SHALL BE IC LABELED.
9. ALL FLUORESCENT LAMPS OR LED ARRAYS SHALL BE LOW MERCURY T.C.L.P. COMPLIANT.
10. ALL LED LUMINAIRES SHALL COMPLY WITH LM79 AND LM80 TESTING STANDARDS.

DISCOVER PORTSMOUTH CENTER
RESTROOM AND ADA REMODEL
 10 MIDDLE STREET
 PORTSMOUTH, NEW HAMPSHIRE



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**ELECTRICAL SPECIFICATIONS,
 LIGHT FIXTURE SCHEDULE AND
 NOTES**

revisions:

Permit Documents
 date: 12/2/19
 proj. no.: 2014.072

E102

FIRE ALARM DEMOLITION PLAN NOTES

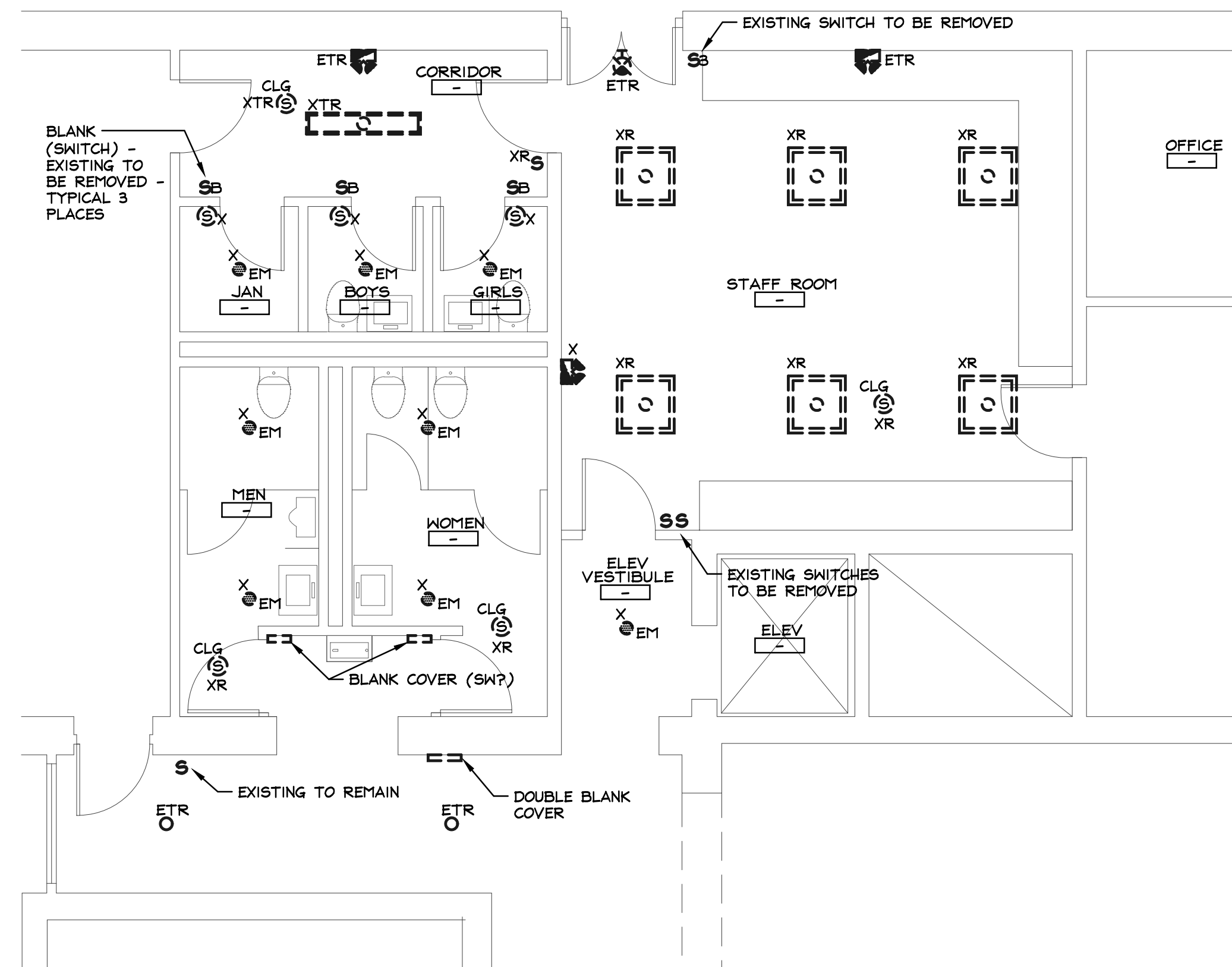
1. MAINTAIN CODE LEGAL AND AHJ APPROVED FIRE ALARM SYSTEM. REMOVE AND RELOCATE DEVICES AS REQUIRED BY THE RENOVATIONS. ADD DEVICES AS REQUIRED. PROTECT INITIATION AND NOTIFICATION DEVICES DURING CONSTRUCTION.

LIGHTING DEMOLITION PLAN NOTES

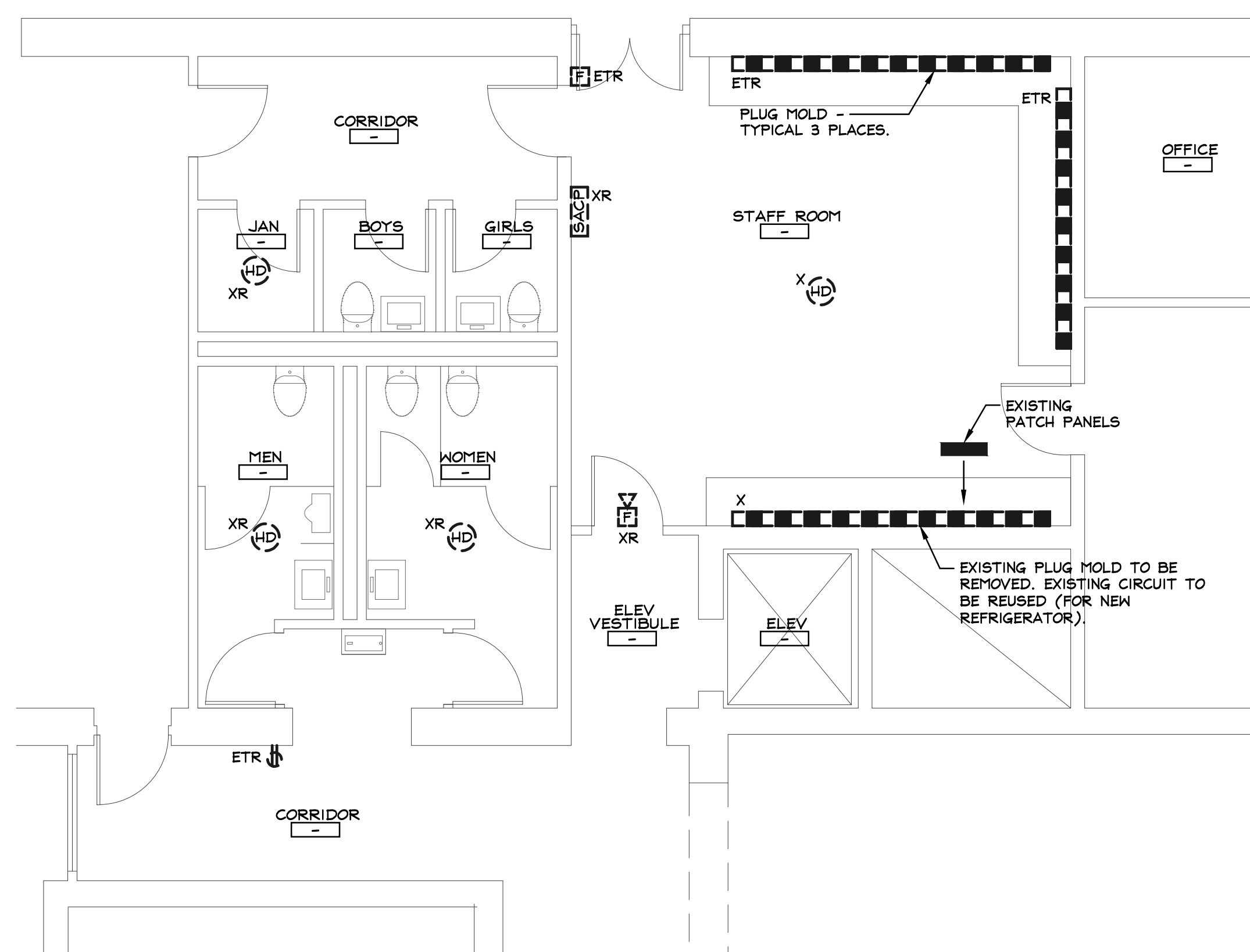
1. ALL EXISTING LIGHTING, SWITCHING AND ASSOCIATED BRANCH CIRCUITRY, IN THIS ROOM OR AREA, SHALL REMAIN UNLESS SPECIFICALLY NOTED OTHERWISE.
2. ALL EXISTING LIGHTING SWITCHING AND ASSOCIATED BRANCH CIRCUITRY, IN THIS ROOM OR AREA, SHALL BE REMOVED UNLESS SPECIFICALLY NOTED OTHERWISE.
3. LIGHTING FIXTURES DESIGNATED BY "RX" IS AN EXISTING LIGHTING FIXTURE TO BE RELOCATED (ALONG WITH ITS ASSOCIATED BRANCH CIRCUITRY) AND TO BE CLEANED AND REINSTALLED AT LOCATIONS SHOWN ON LIGHTING PLAN.
4. EXISTING LIGHTING FIXTURE TO BE DISCONNECTED FROM THE AREA 277V NORMAL LIGHTING CIRCUIT (WITHOUT DISRUPTING LOCAL SWITCHING) AND CIRCUIT TO THE AREA 277V EMERGENCY/NIGHT LIGHTING CIRCUIT.
5. EACH ITEM REFERRED TO THIS NOTE IS AN EXISTING TOGGLE SWITCH TO BE RELOCATED (ALONG WITH ITS ASSOCIATED BRANCH CIRCUITRY) TO THE LOCATION INDICATED ON THE FLOOR PLAN.
6. THE ELECTRICAL CONTRACTOR SHALL DISCONNECT AND MAKE SAFE ALL LIGHTING FIXTURES, LIGHTING CIRCUITS, ETC. REMOVAL AND DISPOSAL OF LIGHT FIXTURES, CONDUIT, WIRE, BOXES, CABLE, HARDWARE, ETC SHALL BE PROVIDED BY THE DEMOLITION CONTRACTOR.
7. THE ELECTRICAL CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL FLUORESCENT LAMPS.

POWER DEMOLITION PLAN NOTES

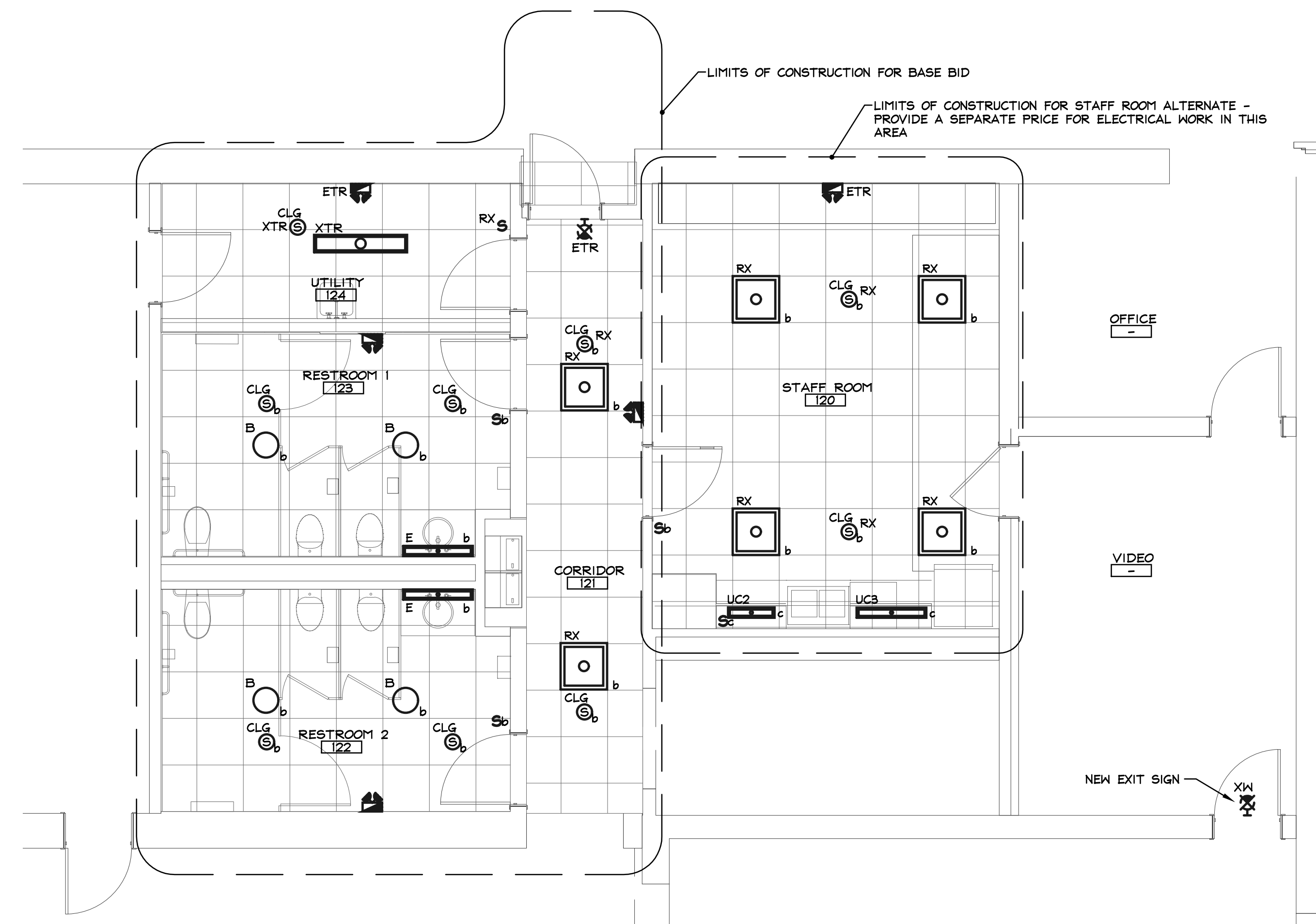
1. ALL EXISTING WIRING DEVICES, ELECTRICAL EQUIPMENT, ETC. AND ASSOCIATED CIRCUITRY IN THIS ROOM OR AREA SHALL REMAIN UNLESS SPECIFICALLY NOTED OTHERWISE.
2. ALL EXISTING WIRING DEVICES, ELECTRICAL EQUIPMENT, ETC. AND ASSOCIATED CIRCUITRY IN THIS ROOM OR AREA SHALL BE REMOVED UNLESS SPECIFICALLY NOTED OTHERWISE.
3. MAINTAIN EXISTING BRANCH CIRCUITS OUTSIDE OF RENOVATED AREAS.
4. HOLES OR OPENINGS LEFT BY THE REMOVAL OF EXISTING POKE-THRU DEVICES SHALL BE FIRE SEALED, FILLED AND GRINDED TO A SMOOTH FINISH BY THE GENERAL CONTRACTOR.
5. EACH ITEM REFERRED TO THIS NOTES IS AN EXISTING WIRING DEVICE TO BE RELOCATED (ALONG WITH ITS ASSOCIATED BRANCH CIRCUITRY) TO THE LOCATION INDICATED.
6. EACH ITEM REFERRED TO THIS NOTE IS AN EXISTING UNIT OF MECHANICAL EQUIPMENT TO BE RELOCATED (ALONG WITH ITS ASSOCIATED POWER CIRCUITRY) TO THE LOCATION INDICATED.
7. EACH ITEM REFERRED TO THIS NOTE IS AN EXISTING PANELBOARD TO BE RELOCATED (ALONG WITH ALL OF ITS BRANCH AND FEEDER CIRCUITRY) TO THE LOCATION INDICATED ON THE FLOOR PLANS. REPLACE FLUSH TRIM WITH NEW SURFACE TRIM.
8. REPLACE EXISTING IVORY WIRING DEVICES WITH NEW WHITE DEVICE WITH WHITE WALL PLATES.
9. REMOVE EXISTING RECEPTACLE AND MAINTAIN EXISTING BRANCH CIRCUIT.
10. EACH ITEM REFERRED TO THIS NOTE IS AN EXISTING BASE FEED MODULE POWER AND VOICE/DATA CONNECTION TO BE RELOCATED (ALONG WITH ITS ASSOCIATED BRANCH CIRCUITRY) TO THE LOCATION INDICATED.
11. RELOCATE CORD DROP RECEPTACLE AND EXTEND ALL ASSOCIATED CIRCUITRY AS NECESSARY.
12. EACH ITEM REFERRED TO THIS NOTE IS AN EXISTING UNIT OF MECHANICAL EQUIPMENT TO BE ELECTRICALLY DISCONNECTED BY THE ELECTRICAL CONTRACTOR, AND REMOVED BY THE MECHANICAL CONTRACTOR. THE ELECTRICAL CONTRACTOR SHALL REMOVE THE MECHANICAL EQUIPMENT BRANCH CIRCUITRY OR FEEDER BACK TO ITS POINT OF SUPPLY, AND SHALL REMOVE AND DISCARD ALL UNIT CONTROLLERS AND/OR SAFETY SWITCHES.
13. THE ELECTRICAL CONTRACTOR SHALL DISCONNECT AND MAKE SAFE ALL ELECTRICAL POWERED EQUIPMENT, GENERAL POWER, ETC. REMOVAL AND DISPOSAL OF EQUIPMENT, CONDUIT, WIRE, BOXES, CABLE, HARD, ETC SHALL BE PROVIDED BY THE DEMOLITION CONTRACTOR.



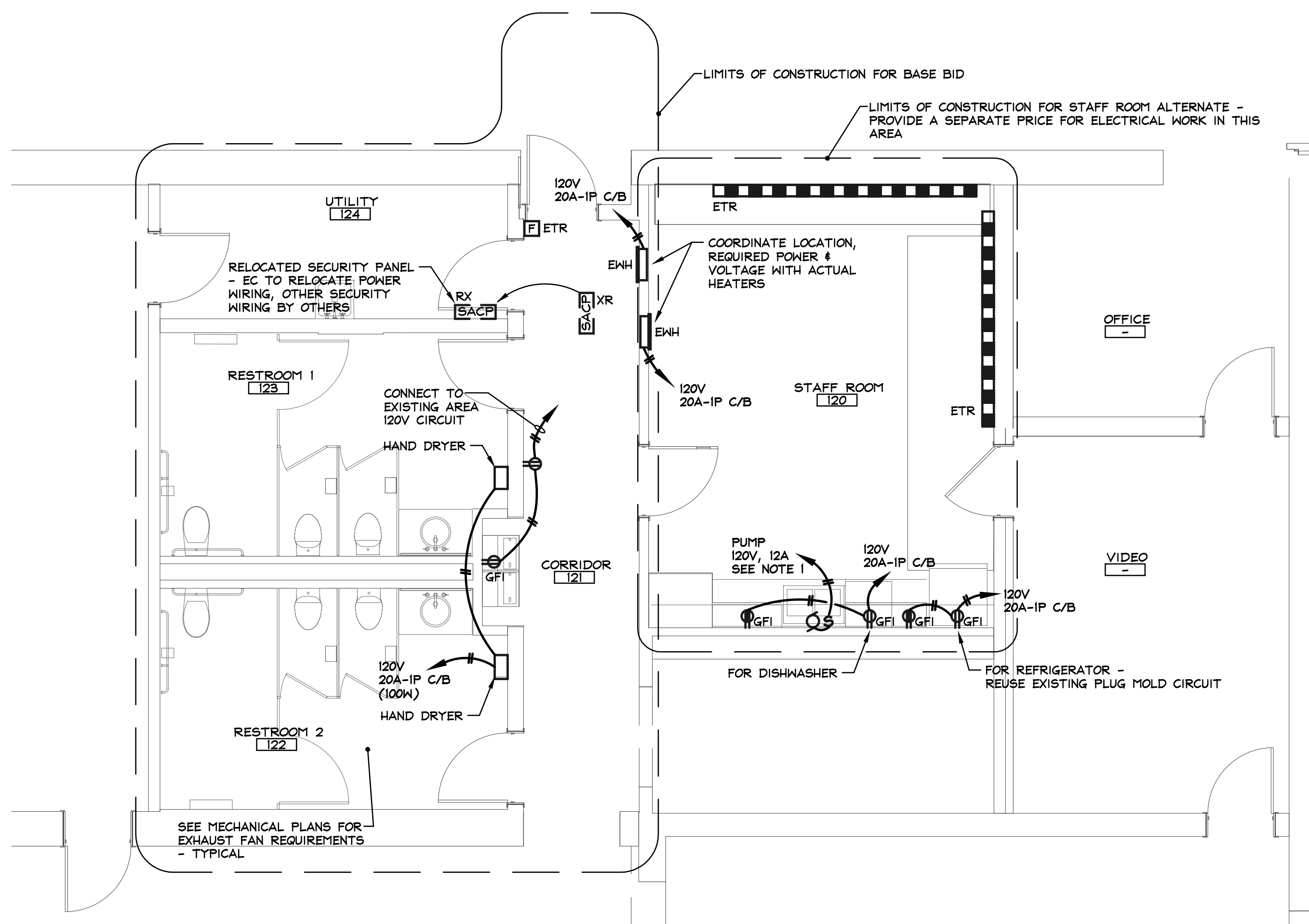
FLOOR LIGHTING DEMOLITION PLAN
SCALE: NOT TO SCALE



FLOOR POWER & FIRE ALARM DEMOLITION PLAN
SCALE: NOT TO SCALE



FLOOR LIGHTING PLAN
 SCALE: 1/4" = 1'-0"



FLOOR POWER PLAN
 SCALE: 1/4" = 1'-0"

FIRE ALARM PLAN NOTES

1. MAINTAIN CODE LEGAL AND AHJ APPROVED FIRE ALARM SYSTEM. REMOVE AND RELOCATE DEVICES AS REQUIRED BY THE RENOVATIONS. ADD DEVICES AS REQUIRED. PROTECT INITIATION AND NOTIFICATION DEVICES DURING CONSTRUCTION.

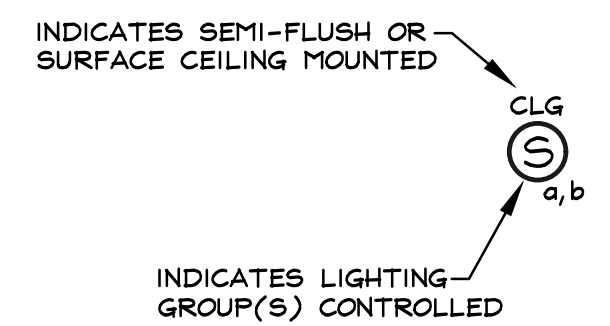
LIGHTING PLAN NOTES

1. ALL EXISTING LIGHTING, SWITCHING AND ASSOCIATED BRANCH CIRCUITRY, IN THIS ROOM OR AREA, SHALL REMAIN UNLESS SPECIFICALLY NOTED OTHERWISE.
2. ALL EXISTING LIGHTING SWITCHING AND ASSOCIATED BRANCH CIRCUITRY, IN THIS ROOM OR AREA, SHALL BE REMOVED UNLESS SPECIFICALLY NOTED OTHERWISE.
3. SEE ARCHITECTURAL PLANS AND ELEVATIONS FOR MOUNTING HEIGHTS AND EXACT LOCATIONS.
4. WIRING AND CONDUIT SHALL BE REQUIRED BETWEEN ALL LIGHTING FIXTURES AND SWITCHING AS PER CIRCUIT NUMBER'S AND SWITCH GROUPS INDICATED.
5. ALTHOUGH NOT ALL BRANCH CIRCUIT WIRING IS SHOWN ON THESE PLANS, IT IS THE INTENT OF THESE DRAWINGS, THAT A COMPLETE BRANCH WIRING SYSTEM SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE SPECIFICATION.
6. EMERGENCY BATTERY UNITS SHALL BE CIRCUITED TO THE LOCAL LIGHTING CIRCUIT AHEAD OF ANY LOCAL SWITCHING, RELAYS, OR CONTROLS.
7. ALL EXIT SIGNS SHALL BE WIRED TO THE AREA 120V EMERGENCY LIGHTING CIRCUIT AHEAD OF ANY LOCAL SWITCHING, RELAYS, OR CONTROLS. ALL NEW EXIT SIGN SHALL BE STANDARD TYPE FOR BUILDING.
8. CONNECT TO EXISTING AREA 120V LIGHTING CIRCUIT.
9. TEST EXISTING EBU AND REPLACE AS NECESSARY.

POWER PLAN NOTES

1. THERE IS A PUMP UNDER THE SINK FOR THE DRAIN. WE BELIEVE THE PUMP WILL BE 1HP, 120V, 12 AMPS. PROVIDE 120 VOLTS FROM A DEDICATED 20A/IP BREAKER WITH A HORSEPOWER RATED SERVICE SWITCH. COORDINATE EXACT POENR REQUIREMENTS FOR THE PUMP ON SITE WITH THE MECHANICAL CONTRACTOR/INSTALLER.
2. USE EXISTING AREA POWER WHERE POSSIBLE BUT THERE IS A POWER PANEL - PPI - IN THE BASEMENT BELOW WITH AVAILABLE SPACE FOR ADDITIONAL BREAKERS.
3. ALL EXISTING WIRING DEVICES, ELECTRICAL EQUIPMENT, ETC. AND ASSOCIATED CIRCUITRY IN THIS ROOM OR AREA SHALL REMAIN UNLESS SPECIFICALLY NOTED OTHERWISE.
4. ALL EXISTING WIRING DEVICES, ELECTRICAL EQUIPMENT, ETC. AND ASSOCIATED CIRCUITRY IN THIS ROOM OR AREA SHALL BE REMOVED UNLESS SPECIFICALLY NOTED OTHERWISE.
5. PROVIDE INDIVIDUAL NEUTRAL CONDUCTORS WITH EACH 120V RECEPTACLE CIRCUIT.
6. PROVIDE HOMERUN TO NEW 20A-IP C/B INSTALLED IN AVAILABLE SPACE IN PANELBOARD DESIGNATED.
7. MAINTAIN EXISTING BRANCH CIRCUITS OUTSIDE OF RENOVATED AREAS.
8. CONNECT TO EXISTING RECEPTACLE CIRCUIT.
9. ALL WIRING REQUIREMENTS, WIRE SIZES, CONDUIT SIZES, OVERCURRENT PROTECTION, ETC. SHALL BE CONFIRMED WITH THE EQUIPMENT MANUFACTURER.

TYPICAL SENSOR KEY



TYPICAL LIGHTING PLAN KEY

